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Merton Council

Planning Applications Committee Agenda

Membership

Councillors:

Dave Ward (Chair)
Stephen Crowe (Vice-Chair)
Stephen Alambritis MBE
Billy Christie
David Dean
Nick Draper
Joan Henry
Simon McGrath
Carl Quilliam
Peter Southgate

Substitute Members:

Eloise Bailey
Ben Butler
Edward Foley
Edward Gretton
Najeeb Latif
Dennis Pearce

Date: Thursday 29 April 2021

Time: 7.15 pm

Venue: This will be a virtual meeting and therefore not held in a physical location, in accordance with s78 of the Coronavirus Act

This will be a virtual meeting and therefore not held in a physical location, in accordance with s78 of the Coronavirus Act 2020.

This is a public meeting and attendance by the public is encouraged and welcomed. This can be viewed at www.youtube.com/user/MertonCouncil

If you wish to speak in respect an application, please contact either planning@merton.gov.uk or the Development Control Admin Section on 020 8545 3445/3448 (9am – 5pm); or the Development Control hotline 020 8545 3777 (open 1pm – 4pm only) to register. **All requests to speak should be made by no later than 12 noon on the day before the meeting.**

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Planning Applications Committee Agenda

29 April 2021

- 1 Apologies for absence
- 2 Declarations of Pecuniary Interest
- 3 Minutes of the previous meeting 1 - 10
- 4 Town Planning Applications
The Chair will announce the order of Items at the beginning of the Meeting. A Supplementary Agenda with any modifications will be published on the day of the meeting. Note: there is no written report for this item.
- 5 94 The Broadway, Wimbledon, SW19 1RH 11 - 40
Application no. 20/P3088
Ward: Trinity
Recommendation: GRANT planning permission subject to s106 obligation or any other enabling agreement
- 6 57 Coombe Lane, Raynes Park, SW20 0BD 41 - 58
Application no. 20/P1046
Ward: Raynes Park
Recommendation: GRANT planning permission subject to relevant conditions
- 7 Dundonald Recreation Ground, Dundonald Road, Wimbledon, SW19 3QH 59 - 98
Application no. 19/P4183
Ward: Dundonald
Recommendation: REFUSE planning permission
- 8 9A The Grange, Wimbledon, London, SW19 4PT 99 - 148
Application no. 20/P2882
Ward: Village
Recommendation: GRANT planning permission subject to conditions
- 9 3 Hamilton Road, South Wimbledon, SW19 1JD 149 - 180
Application no. 20/P2774
Ward: Abbey
Recommendation: GRANT planning permission subject to conditions

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10	Garages R/O 38 Inglemere Road, Mitcham, CR4 2BT <i>Application no. 20/P1722</i> <i>Ward: Graveney</i> <i>Recommendation: GRANT planning permission subject to relevant conditions and a s106 agreement for a permit free development</i>	181 - 210
11	52 Parkway, Raynes Park, SW20 9HF <i>Application no. 20/P3898</i> <i>Ward: West Barnes</i> <i>Recommendation: GRANT planning permission subject to conditions</i>	211 - 228
12	19A - 19F Prince's Road, Wimbledon, SW19 8RQ <i>Application no. 21/P0197</i> <i>Ward: Trinity</i> <i>Recommendation: GRANT planning permission subject to s106 agreement and conditions</i>	229 - 260
13	18D Ridgway, Wimbledon, London, SW19 4QN <i>Application no: 21/P0008</i> <i>Ward: Village</i> <i>Recommendation: GRANT planning permission subject to conditions</i>	261 - 286
14	51 Streatham Road, Mitcham, CR4 2AD <i>Application no. 19/P1798</i> <i>Ward: Figges Marsh</i> <i>Recommendation: GRANT planning permission subject to conditions</i>	287 - 312
15	Planning Appeal Decisions <i>Recommendation: That Members note the contents of the report</i>	313 - 314
16	Planning Enforcement - Summary of Current Cases <i>Recommendation: That Members note the contents of the report</i>	315 - 320

Note on declarations of interest

Members are advised to declare any Disclosable Pecuniary Interest in any matter to be considered at the meeting. If a pecuniary interest is declared they should withdraw from the meeting room during the whole of the consideration of that matter and must not participate in any vote on that matter. For further advice please speak with the Managing Director, South London Legal Partnership.

Agenda Item 3

All minutes are draft until agreed at the next meeting of the committee/panel. To find out the date of the next meeting please check the calendar of events at your local library or online at www.merton.gov.uk/committee.

PLANNING APPLICATIONS COMMITTEE

18 MARCH 2021
(7.15 pm - 10.35 pm)

PRESENT: Councillor Dave Ward (in the Chair),
Councillor Stephen Crowe, Councillor Stephen Alambritis,
Councillor Billy Christie, Councillor David Dean,
Councillor Nick Draper, Councillor Joan Henry,
Councillor Simon McGrath, Councillor Carl Quilliam and
Councillor Peter Southgate

IN ATTENDANCE: Tim Bryson (Development Control Team Leader (North)),
Amy Dumitrescu (Democratic Services Officer),
Jonathan Lewis (Development Control Team Leader (South)),
Tim Lipscomb (Case Officer), Neil Milligan (Development Control
Manager, ENVR) and Farzana Mughal (Democratic Services
Officer)

1 APOLOGIES FOR ABSENCE (Agenda Item 1)

There was no apologies for absence.

2 DECLARATIONS OF PECUNIARY INTEREST (Agenda Item 2)

There were no declarations of interest.

3 MINUTES OF THE PREVIOUS MEETING (Agenda Item 3)

RESOLVED: That the minutes of the meeting held on 11th February, 2021 were agreed as an accurate record.

4 TOWN PLANNING APPLICATIONS (Agenda Item 4)

The Committee noted the amendments and modifications to the officers' report (see item no. 14). This applied to items no. 5, 9, 10, 11 and 12.

Furthermore, the Chair advised that the order of the agenda was changed and would be considered in the order as follows: items, 5, 9, 11, 12, 6, 7 and 10. For the purpose of the minutes, items were minuted in the order they appeared in the published agenda.

5 12 CECIL ROAD, WIMBLEDON, SW19 1JT (Agenda Item 5)

Proposal: Replacement of extension with a new single storey rear extension and an additional single storey infill extension to property along with the erection of a rear roof extension.

The Committee noted the report and the plans presented by the Development Control Team Leader (North). The Committee also noted the modification sheet contained in the supplementary agenda. An update on various matters relating to the amendments was also provided to the Committee.

Two residents had registered to speak in objection to the proposed scheme, and at the request of the Chair, had raised a number of points, including:

- they did not have any objections to the proposal, on condition that, the ground floor extension remained on the same line and footprint as the neighbouring properties;
- the proposal exceeded the line of the original kitchen and violated onto the north facing glass extension;
- the proposal illustrated a parapet construction which was not in keeping with the vernacular of the building and style of the neighbouring properties;
- the proposal would potential restrict natural daylight received in the kitchen to the property of number 10;
- the proposal exceeded the length of all nearby properties;
- the elevation and the length of both extensions would have adverse effects on other properties;
- the scale and height of the extensions were not in keeping to the line of other properties;
- the over development would block light from neighbouring conservatory.

The applicant had submitted a speech which was read out by Democratic Services Officer. The following points were highlighted:

- the applicant stated that the ground floor extension did exceed current boundary by 85cm and the height of the ground floor was increased by a small amount. However, the design had been discussed with the architects and it was reassured that the impact on light would be minimal;
- with regards to privacy, given there were no windows on the side of the 85 cm beyond the current boundary. It was recognised there was a risk of privacy being impacted given number 10's ground floor extension had windows overlooking to the garden, however, sky lights would be used and not side wall windows;
- one of the main objectives in the renovation would be to build with high quality materials to protect against any damp issues;
- there was a parapet proposed for the ground floor which exceeded boundary by 85 cm. Other properties of exact design already had top floor bedroom built;

- Furthermore, that applicant had proposed not to do the first floor extension and only do the ground floor extension.

Councillor Nigel Benbow (Ward Member for Abbey) had submitted a speech which was read out by Democratic Services Officer. The Committee had noted that Councillor Benbow stated that the proposed scheme exceeded the boundary line, compared to other extensions at 16, 18 and 20 Cecil Road. The proposed development would potential cause loss of sunlight to the neighbouring properties gardens and conservatory. There was a very high wall behind the properties, however, this was not clear on the plans, and therefore, the sense of enclosure was not understood. Both neighbours at properties 10 and 14 felt betrayed by the proposed overdevelopment extension at property 12. It would considerably impact their lives as they spend a lot of time in their gardens and conservatory. Furthermore, it was sated that the residents were not opposing to the extension, provided it was in line with the other neighbouring properties.

In the ensuing debate, Members' raised a number of points and in response to Members' questions and comments the Development Control Team Leader (North) stated the following points:

- The 85cm building line was within the boundary of the development's garden;
- The large boundary wall to the back of the property would remain;
- The proposed development was not considered to be visually harmful or to neighbouring immunity.

The Chair moved to the vote on the officer's recommendation and it was

RESOLVED that the application number 20/P3477 be GRANTED planning permission subject to conditions.

6 18 CLIFTON ROAD, WIMBLEDON, SW19 4QT (Agenda Item 6)

Proposal: Refurbishment works to original house, including conversion of 4 flats back to single family home and demolition of existing garage block and reconfiguration of driveway.

The Committee noted the report and the plans presented by the Development Control Team Leader (North).

The Chair moved to the vote on the officer's recommendation and it was

RESOLVED that the application number 20/P2899 be GRANTED planning permission subject to conditions.

7 1 CRICKET GREEN, MITCHAM, CR4 4LB (Agenda Item 7)

Proposal: Application for the removal of condition 1 (retention of residential flat) and variation of 4 (number of children) attached to planning permission Ref 10/P1388, thereby allowing for the use of all the property as a nursery by the change of use of the existing flat to provide further floor space for the nursery and to increase the total number of children that can attend the nursery to a maximum of 42 children (currently 30).

The Committee noted the report and the plans presented by the Development Control Team Leader (South).

Members' welcomed the proposal and stated it was prudent to the Committee that a safe environment was provided for the children of Merton.

The Chair moved to the vote on the officer's recommendation and it was

RESOLVED that the application number 20/P3778 be GRANTED planning permission subject to conditions.

8 DUNDONALD RECREATION GROUND, WIMBLEDON, SW19 3QH (Agenda Item 8)

The application number 19/P4183 was withdrawn and will be considered at the next Planning Applications Committee pending further information to be submitted.

9 UNITS C AND D ELM GROVE, BUSINESS CENTRE, WIMBLEDON, SW19 4HE (Agenda Item 9)

Proposal: Erection of first and second floor extension in connection with creation of two self-contained flats (2 x 2 bedroom).

The Committee noted the report and the plans presented by the Development Control Team Leader (North). The Committee also noted the modification sheet contained in the supplementary agenda.

An objector had registered to speak to the proposed scheme, and at the request of the Chair, had raised a number of points, including:

- the development comprises seven or eight industrial units, with some in industrial use and three or four were under development providing residential accommodation. The development was deemed to be massive and this had a huge impact on the local resident on Elm Grove;
- there were limited car parking spaces provided on the site; no access limited vehicle provided, this would potentially cause big problem with parking and deliveries;
- there were no space for bin or cycle storage provided;
- the development being build would potentially have a poor outlook to the area.

The applicant's agent had registered to speak and at the request of the Chair addressed the Committee with the following points:

- with regard to overlooking and privacy, the proposed two flats were an extension to an existing building, the nearest residential buildings that look towards the site would be an oblique angle. The closest window of this development was 31 meters from houses on Bail houses. The closest gardens in Elm Grove was 45 meters from the proposal and Bail houses. This would not cause unacceptable overlooking to any residential properties or their immediate amenity spaces;
- the proposal was not over development, both flats exceed minimum space standards for two bedroom dwellings by a significant margin and all the rooms also exceeded the standards, the flats would have large windows and which would receive plenty of natural daylight;
- the development also had amenity spaces that were well in excess of the minimum standards and there was adequate space provided for bin and cycle storage;
- with regard to parking, the proposed flats would be car free, this would be enforced by a legal agreement which would prevent residents obtaining parking permits for the adjacent roads. The site had a relatively low petal rating and was within walking distance and cycling distance of Wimbledon town centre and its station. It was also close to local bus stops, nonetheless two cycle spaces would be provided for each flat.

In the ensuing debate, Members' raised a number of points including:

- that the proposed development did not provide affordable housing scheme;
- Members requested for condition to be added with regards to cycle and refuse collection arrangements;
- Members sought clarification if there were any restrictions applied with regards to the maximum vehicle size along the road;
- It was noted that there were no pavements providing for residents to walk;
- A members asked if residents where protected whilst the construction work was being carried out.

The Committee requested that additional conditions be included: for the installation of adequate street light; and for footpath installation linking the site with the Elm Grove Road.

The Chair moved to the vote on the officer's recommendation with the addition of the two conditions above and it was

RESOLVED that the application number 20/P2095 be GRANTED planning permission subject s106 agreement and to conditions.

10 GATEHOUSE LODGE, MORDEN HALL PARK, SM4 5JD (Agenda Item 10)

Proposals:

- A) 20/P3606 – Change of use of Morden Lodge and ancillary outbuilding from residential (C3) to Forest Primary School (F1) including an ancillary groundkeepers flat (C3) on the first floor of Morden Lodge; involving internal and external repairs, restoration and alteration to the existing buildings and the erection of new ancillary structures.
- B) 20/P3607 – Application for listed building consent for the change of use of Morden Lodge and ancillary outbuildings from residential (C3) to Forest Primary School (F1) including an ancillary groundkeepers flat (C3) on the first floor of Morden Lodge; involving internal and external repairs, restoration and alteration to the existing buildings and the erection of new ancillary structures.

The Committee noted the report and the plans presented by the Development Control Team Leader (South). The Committee also noted the modification sheet contained in the supplementary agenda. The Development Control Team Leader (South) provided updates on various matters relating to the amendments.

Members' commented on the importance to bring historic buildings back into effective use and that the building was a great asset not only to the Council and the borough for also for the children.

The Chair moved to the vote on the officer's recommendation and it was

RESOLVED:

- a) that the application number 20/P3606 be GRANTED planning permission subject to s106 obligation or any other enabling agreement and conditions; and
- b) that the application number 20/P3607 be GRANTED Listed Building Consent subject to conditions.

11 10 ST MARY'S ROAD, WIMBLEDON, SW19 7BW (Agenda Item 11)

Proposal; Erection of swimming pool in rear garden, with plant room and associated works.

The Committee noted the report and the plans presented by the Development Control Team Leader (North). The Committee also noted the modification sheet contained in the supplementary agenda.

Two residents had registered to speak in objection to the proposed scheme, and at the request of the Chair, had raised a number of points, including:

- this was an extremely environmentally unfriendly application. Excavating the entire length of a garden and building an enormous underground dam was deemed to be inconsiderate to the environment and the surrounding neighbours who were in extremely close proximity;
- the application contravenes at least 3 planning laws; DM F1 (support for Flood Risk Management). Surrounding gardens had flooded in recent years since the excavation of three basements in a row;
- There were contravenes to DM D2 (c) Merton Basement Guidance and Policy;
- as well as a basement which was already under 4-5 metres of the rear garden amenity space, the garden was currently mostly hard paved and this would remove further vegetation as well as sinking a huge deep cement dam into the entire length of the garden;
- due to the overdevelopment of No 10, this application required full planning permission and therefore all the correct documentation should be supplied including current hydrology information;
- concerns of loss of trees;
- excavation of basements from swimming pools potentially has a huge impact on neighbouring properties with a risk of flooding.

The applicant had registered to speak and at the request of the Chair addressed the Committee with the following points:

- the scheme was proposing planting of seven new trees, in addition to the existing 18 trees;
- the applicants commissioned in a hydrology report to ensure neighbours were not affected;
- the pool would be 1.8 meters deep and therefore did not reach the water table which is 2.7 meters below ground level;
- an introduction of the suds drainage system which would be agreed by officers prior to works commencing, this would remove excess water from around the site and improve the existing situation.

Councillor Najeeb Latif (Ward Member for Village) had submitted a speech which was read out by the Democratic Services Officer. The Committee had noted that Councillor Latif fully supports the objectors' concerns with regards to the inadequate and out of date information supporting this application and the excessive flooding which was now occurring due to the construction of basements in the vicinity. Merton's own Basement and Subterranean guidance request for an up-to date Construction Method Statement (CMS) which must include current and valid ground investigations, hydrology reports, localised surface water, nearby basements causing localised flooding and an engineering design submitted by a suitably qualified engineer. Furthermore, it was requested that the committee add conditions that the applicant provided new ground investigations and engineering design that clearly identifies nearby basements.

The Development Control Team Leader (North) informed the Committee that the application was not for a basement and it was for an outdoor pool, therefore a hydrology impact assessment was not required for this proposal. Nonetheless, the

applicant had submitted the hydrology statement. The proposal was considered to be acceptable and that seven new trees would be planted.

In the ensuing debate, Members' raised a number of points. The Development Control Team Leader (North) stated that if a flood from a property causes damage to a neighbouring property, this would be a civil matter.

The Chair moved to the vote on the officer's recommendation and it was

RESOLVED that the application number 20/P4018 be GRANTED planning permission subject to conditions.

(The meeting was adjourned at 21:05 and resumed at 21.12)

12 LAND RO 2-16 WOODVILLE ROAD, MORDEN SM4 5AF (Agenda Item 12)

Proposal: Erection of a two storey buildings to provide 9 x self-contained flats on ground floor, first floor and within roofspace.

The Committee noted the report and the plans presented by the Case Officer. The Committee also noted the modification sheet contained in the supplementary agenda.

An objector had registered to speak to the proposed scheme, and at the request of the Chair, had raised a number of points, including:

- the development of eight units accommodation was not suitable for the area;
- lack of privacy, loss of light and overlooking;
- the constant use of the alleyway would be an invasion to the resident privacy;
- Impact on wildlife and open space.

The applicant' agent had submitted a speech which was read out by Democratic Services Officer. The following points were highlighted:

- there had already been many problems with fly tipping particularly at the southern end of the access way adjacent to the application site and the main reason for that was the area was unobserved. The proposed development when occupied would help deter fly tippers and improve the situation.
- the application site had a legal right of way along the access road registered on the title deeds, so consent was not required from any of the Links Avenue owners to use the access way;
- with regards to the maintenance, repair and suitability of the access way, it was acknowledged that the adjoining owners were under no obligation to maintain and repair the access to a high standard, although there was an obligation to keep the land in an adequate state of repair insofar that it does not interfere with the right of way. That obligation extends to keeping the access free of blockages.

In the ensuing debate, Members' raised a number of points and in response to Members' questions and comments the Case Officer stated the following points:

- the proposed fence would be approximately 2.8 meters, this would be in line with standard boundary;
- concerns raised in relation to the waste collection and emergency access.

The Chair moved to the vote on the officer's recommendation and it was

RESOLVED that the application number 20/P1091 be GRANTED planning permission subject to s106 agreement and conditions.

13 PLANNING ENFORCEMENT - SUMMARY OF CURRENT CASES (Agenda Item 13)

The Committee note the planning enforcement report.

14 MODIFICATIONS SHEET (Agenda Item 14)

The Committee noted the Modifications Sheet.

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PLANNING APPLICATIONS COMMITTEE

29 APRIL 2021

<u>APPLICATION NO.</u>	<u>DATE VALID</u>
20/P3088	30/09/2020
Site Address:	94 The Broadway, London, SW19 1RH
Ward:	Trinity
Proposal:	ERECTION OF A FOUR STOREY REAR EXTENSION AND INTERNAL RECONFIGURATION OF EXISTING RESIDENTIAL UNIT TO CREATE 4 ADDITIONAL RESIDENTIAL DWELLINGS.
Drawing Nos:	094TB-A-03-103; 094TB-A-03-104; 094TB-A-03-105; 094TB-A-03-106; 094TB-A-03-107; 094TB-A-05-108; 094TB-A-05-110; 094TB-A-06-109; 094TB-A-06-110
Contact Officer:	Calum McCulloch

RECOMMENDATION

Grant Permission Subject to Section 106 Obligation or any other enabling agreement

CHECKLIST INFORMATION

Is a screening opinion required	No
Is an Environmental Statement required	No
Press notice	No
Site notice	No
Design Review Panel consulted	No
Number of neighbours consulted	8
External consultations	0
Internal consultations	3
Controlled Parking Zone	Yes - W3

1. INTRODUCTION

- 1.1 This application is being brought to Planning Applications Committee due to the number and nature of objections received. It should be noted the application was originally heard at Planning Committee on 11th February 2021. Members raised concern regarding the impact on residential amenity. Having considered all of the information before them, Members' were minded to defer the application pending Daylight and Sunlight Assessment to be carried out by the applicant. Since the February Planning Committee meeting, a Daylight Sunlight Report has been carried out by the applicant and was subject to a 21-day re-consultation with neighbours. Accordingly **Section 5** of this report and **Section 7** (see Neighbouring Amenity) have been updated to report the findings of the consultation and daylight sunlight report.

2. SITE AND SURROUNDINGS

- 2.1 The application site comprises a part two-storey, part three storey mid terrace property located on the north side of The Broadway. The site contains commercial on the ground floor and residential on the first and second floor containing a 4-bedroom unit.
- 2.2 The site is not a listed building and is not within a Conservation Area. It is located within Wimbledon Town Centre and is designated as a Primary Shopping Area and part of a Core Shopping Frontage in the Merton Sites and Policies Plan 2014.
- 2.3 The site benefits from access to the rear along Printers Yard. The buildings along the terrace on which the site forms part have been subject to infill development over the years, including at no. 100 and 102 The Broadway. The adjacent properties either side of the application site have rear outriggers however these are two or three storey and would appear original.

3. CURRENT PROPOSAL

- 3.1 The application is seeking the following:
- Demolition of existing rear extensions
 - Erection of four storey extension to create 4 x self-contained flats. The unit mix comprises:
 - 3 x1B2P unit & 1 x 2B3p units
 - It is proposed to retain the commercial unit at the front of the site at ground floor level.

Amendments

- 3.2 A non-material amendment was made to the plans increasing the size of bins accommodated in the bin store area.

4. PLANNING HISTORY

- 4.1 20/P1928 - ERECTION OF A FOUR STOREY REAR EXTENSION AND INTERNAL RECONFIGURATION OF EXISTING RESIDENTIAL UNIT TO CREATE 5 ADDITIONAL RESIDENTIAL DWELLINGS (6 UNITS PROVIDED IN TOTAL) - Refuse Permission - 14/08/2020 Reasons for refusal:
- The proposed development by virtue of its scale and bulk would appear incongruous with its immediate context resulting in material harm to the character and appearance of the area.
 - The proposed development would cause material harm to the amenity of adjacent occupiers through unreasonable sense of enclosure and diminished outlook
 - The proposed development would generate additional pressure on parking in the area, and in the absence of a legal agreement securing a 'car free' agreement.
 - The proposed development would result in the loss of a four-bed family sized unit and there are no three bed-room units proposed to mitigate this loss.

Appealed – Appeal pending determination

- 4.2 88/P1553 - RETENTION OF 1.3 SATELLITE DISH AT SECOND FLOOR LEVEL TO REAR OF EXISTING BETTING SHOP - APPLICATION GRANTED - 16/02/20
- 4.3 MER1087/69 - USE OF GROUND FLOOR PREMISES AS A BETTING OFFICE - GRANT PERMISSION SUBJECT TO CONDITIONS - 15/01/1970
- 4.4 MER1085/83 - ALTERATIONS TO BETTING SHOP - GRANT PERMISSION SUBJECT TO 5 YEAR CONDITION ONLY - 13/07/2020
- 4.5 MER1086/83 - DISPLAY OF AN INTERNALLY ILLUMINATED PROJECTING BOX SIGN - GRANT PERMISSION SUBJECT TO CONDITIONS - 08/02/2020

5. CONSULTATION

- 5.1 A standard 21-day consultation was administered in October 2020. The response to this consultation is summarised below.

External

Neighbour consultation

- 5.2 Letters were sent to neighbouring occupiers to the site. A total of 13 objections were received for the application raising the following points:
- Overlooking towards rear of properties on South Park Road
 - Loss of light for properties on South Park Road due to height
 - Concerns over parking pressure

- Concern that of the third floor
- Concerns that Printers Yard is not maintained by Merton Council. Therefore, there is no traffic management or street lighting. There are issues with access as a result of rubbish bins and cars blocking the road.
- Concerns that increased population will increase anti-social behaviour.
- Concerns over noise from balconies – Printers Yard is an echo chamber. If a balcony is permitted on the third floor the noise would be amplified and heard in the surrounding area.
- Loss of light and increased sense of enclosure toward no. 92 The Broadway.
- Concerns from the commercial occupiers of Finling Associates (Unit 2, Printers Yard, 90A the Broadway):
 - No established ownership of Printers Yard meaning it is unmaintained, unduly and unsecured. This legal anomaly should be resolved before planning permission is granted.
 - Car usage is a problem with cars constantly blocking the Mews. There are frequently cars parked at the end of the Mews, and down the main access route. There would be difficulties with emergency access with an adverse impact on safety of staff
 - Insufficient Waste Storage for four households. There are continual problems with unsightly overflowing bins, vermin, and noise as glass bins are filled or emptied.
 - Loss of character and amenity
- Objection from ground floor unit (no. 96 The Broadway) with the following concerns:
 - Negative impact on character and appearance.
 - Loss of sunlight and diminished climate of garden.
 - Increased traffic along the Mews
- Development should not go ahead based on the principle of no. 100 The Broadway and numbers 96-98 The Broadway. No. 100 stopped two houses quality sunlight for Cobden Mews.
- Concerns over loss of three-bed unit.
- Loss of light and increased sense of enclosure in respect of Cobden Mews
- Objection from the commercial occupier no. 1 Cobden Mews, 90 the Broadway:
 - Concerns over the condition of Cobden Mews
 - Negative impact of people parking on the commercial property
 - Negative impact on rubbish
 - Scale of building works harm the character and appearance of the area.
- Objection from Wimbledon Society:

- Proposed dwellings are single aspect and therefore will receive limited light.
 - There is limited amenity space
 - No energy statement to accompany the application.
- One representation was received highlighting the opportunity to install artificial Swift Nests into the development.

In addition, a 21-day re-consultation to neighbouring occupiers was administered on March 19th 2021 inviting any comments on the Daylight and Sunlight Assessment produced by the applicant. No further representations were received.

Internal

Council Transport Planner:

- No objections subject to:
 - Unilateral undertaking which would restrict future occupiers of the units from obtaining an on-street residential parking permit to park in the surrounding controlled parking zones to be secured by via S106 legal agreement.
 - Cycle parking (secure & undercover)
 - Refuse collection: condition
 - Demolition/Construction Logistic Plan (including a Construction Management plan in accordance with TfL guidance) should be submitted to LPA for approval before commencement of work.

Council Waste Services Officer:

- Firstly, the use of wheelie bins is a preferred option for these properties considering its location.
- Secondly, for the proposed arrangement to be considered, applicant/developer would have to confirm that LBM/Veolia will not be held responsible for any damage to the wall/ access road caused by manoeuvring the bins for collection. I will recommend some padding of the side access wall to minimise damage. This confirmation should be an attached condition.

Environmental Health Officer:

- No objections subject Construction Method Statement attached as condition.

6. POLICY CONTEXT

National Planning Policy Framework (2019)

- Chapter 5 Delivering a sufficient supply of homes

- Chapter 9 Promoting sustainable transport
- Chapter 11 Making effective use of land
- Chapter 12 Achieving well-designed places
- Chapter 14 Meeting the challenge of climate change, flooding and coastal change

London Plan 2021

- D1 London's form, character and capacity for growth
- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D6 Housing quality and standards
- D7 Accessible housing
- H1 Increasing housing supply
- H2 Small sites
- H10 Housing mix size
- HC1 Heritage conservation and growth
- SI 2 Minimising greenhouse gas emissions
- SI 4 Managing heat risk
- SI 5 Water infrastructure
- SI 7 Reducing waste and supporting the circular economy
- SI 8 Waste capacity and net waste self-sufficiency
- SI 13 Sustainable drainage
- T3 Transport capacity, connectivity and safeguarding
- T4 Assessing and mitigating transport impacts
- T5 Cycling
- T6 Car parking
- T6.1 Residential parking

Merton Core Strategy (2011)

- Policy CS 8 Housing Choice
- Policy CS 9 Housing Provision
- Policy CS 14 Design

- Policy CS 15 Climate Change
- Policy CS 17 Waste Management
- Policy CS 18 Active Transport
- Policy CS 19 Public Transport
- Policy CS 20 Parking, Servicing and Delivery

Merton Sites and Policies Plan (2014)

- DM H2 Housing mix
- DM H3 Support for affordable housing
- DM H4 Demolition and redevelopment of a single dwelling house
- DM D2 Design considerations in all developments
- DM D3 Alterations and extensions to existing buildings
- DM EP2 Reducing and mitigating noise
- DM T1 Support for sustainable transport and active travel
- DM T2 Transport impacts of development
- DM T3 Car parking and servicing standards

7. PLANNING CONSIDERATIONS

7.1 The material planning considerations in the assessment of this planning application are as follows:

- Principle of development
- Character and appearance
- Neighbouring amenity
- Standard of accommodation
- Housing mix
- Traffic, Parking and Highways Conditions
- Sustainability
- Refuse

Principle of development

7.2 The National Planning Policy Framework, London Plan Policy H1 and the Council's Core Strategy Policy CS8 and CS9 all seek to increase sustainable housing provision and access to a mixture of dwelling types for the local community, providing that an acceptable standard of accommodation would be provided. Policy H1 of the London Plan 2021 states that boroughs should

optimise the potential for housing delivery on all suitable and available brownfield sites through their Development Plans and planning decisions, including to enable additional development capacity, including through housing intensification and developing small sites.

- 7.3 The proposed development would result in a net increase of 3 residential units in Wimbledon Town Centre. Intensification of land is encouraged in the Local and London Plan, therefore the provision of 4 residential units would be in line with policy.

Overall, the principle of development is acceptable however is subject to compliance with the below planning considerations, which include the planning history of the site.

Character and Appearance

- 7.4 London Plan policies D1, D3 and D4, Core Strategy policy CS14 and SPP Policies DMD2, DMD3 require proposals to have high quality design and respect the appearance, scale, bulk, form, proportions, materials and character of the original building and their surroundings.
- 7.5 The proposal is comprised of a four storey rear extension projecting from the rear of the original block. The extension adopts a gable form which corresponds to the gable form on the host building and the gable outrigger located next door at no. 92. The ridgeline of the extension would match the ridgeline of the main building therefore would not be visible from the Broadway.
- 7.6 The extension would be set away from the boundary with no. 96 by 1.24m maintaining some legibility of the original rear elevation.
- 7.7 The depth of the four storey extension would measure 8.33m (10.9m including the ground floor cycle store and bin store).
- 7.8 The architectural appearance of the proposal is generally considered good quality. The rear elevation comprised of brick, timber slatted balconies and contemporary windows would assimilate to acceptable level with the terrace when viewed from Printers Yard.
- 7.9 Rear projections are a common feature of the surrounding terraces at the rear. Whilst larger than existing rear projections in the immediate vicinity, the scale proposed extension would not be visually overbearing, would be subservient to the host building and would assimilate to acceptable level with the mews Character of Printers Yard. The depth and width of the proposal has been reduced in comparison to the previously refused scheme.
- 7.10 For the points outlined above, the proposed development is not considered to cause material harm to the character and appearance of the and would accord with Policies DMD2 and DMD3 in the Merton Sites and Policies Plan 2014

Neighbouring Amenity

- 7.11 SPP Policy DM D2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring

properties in terms of loss of light, quality of living conditions, privacy, visual intrusion and noise.

- 7.12 The proposed development adjoins no 92 to the west and no. 96 and 98 the Broadway to the east. These properties are similar to the application site comprising commercial on the ground floor and residential on the upper floors. The impact on each of these is considered in more detail below:

No. 92 the Broadway

- 7.13 No. 92 comprises commercial on the ground floor and residential on the upper floors. No. 92 has two rear facing windows on the rear elevation of the outrigger at first and second floor levels. These serve a kitchen (residential) and bedroom respectively. There is also another bedroom window located at second floor level on the principle rear elevation (see existing plans for ref. 20/P1484). The proposed rear extension would project 2m beyond the first and second floor windows, and roughly 8m beyond the third floor window as referred to above. There would be some increased sense of enclosure in respect of these windows but given the projection forward of the rear elevation of no. 92 has been reduced by 2.5m since application 20/P1928, and the removal of the third floor dormer, Officers consider the proposal would preserve suitable levels of openness and daylight towards these windows. There are no windows proposed in the western flank wall therefore there would be no impact from increased overlooking. Overall, the proposal would not harm the amenity of the no. 92.

No 96 the Broadway

- 7.14 No 96 comprises commercial on the ground floor and residential on the upper floors. No 96 has a two-storey outrigger with a glass doorway at first floor believed to serve a kitchen. There are three windows at first and second floor levels on the rear elevation of no. 96. Two of these serve a toilet and landing respectively and therefore there would be no material harm to living conditions in relation to these windows. The other window at second floor level serves a bedroom (see existing plans submitted for ref 15/P1569). The proposed four storey extension would project roughly 8m beyond this rear bedroom window. The projection forward of this window has been reduced by 2m since previous application 20/P1484. Furthermore there is now a gap of 1.24m between the flank wall of the extension and the boundary with no. 96. Officers acknowledge there would still be some increased sense of enclosure. However, Officers are satisfied the window would be subject to suitable levels of daylight and openness and there would be no material harm to the living conditions of the bedroom the window serves.

- 7.15 There is not considered to be any harm cause through increased overlooking. There are four windows proposed on the eastern elevation at first and floor levels. These serve a bedroom and kitchen diner at first and second floor respectively and are subject to a condition of obscure glazing.

No 98 the Broadway

- 7.16 No 98 has residential windows located at an upper level similar to no. 96. No. 98 are already enclosed to the east by the four storey development at no. 100.

There would be some increased sense of enclosure and loss of light as result of the proposed extension but taking into consideration the reduced scale of the proposal since application 15/P1569, the proposal would not harm the amenity of this property.

1-3 Cobden Mews, 90 The Broadway

- 7.17 The rear of the application site is located opposite a two storey commercial building. There would be some inter-visibility between the rear windows and outdoor terraces of the proposed flats and the commercial buildings. Officers do not consider this to be harmful relationship as there is a separating distance is roughly 12m.

37-41 South Park Road

- 7.18 Some objections raised concern that the proposed development would adversely impact the amenity of properties on South Park Road. The proposed extension would be sited 15m away from the rear garden boundaries of these properties. The commercial premises on Cobden Road also acts as an intervening barrier. Officers acknowledge there would be some inter-visibility between the third floor window and these properties. However, Officers do not consider this to be harmful relationship given the separating distance.

- 7.19 Concern has been raised by some residents regarding the impact of noise from the proposed balconies. The proposed balconies are a modest size and therefore are unlikely to be used for use by more than two individuals at any given time. A balance must be struck between providing outdoor space for residents with the impact on noise. In this instance, the likely impact of noise generation is not considered significant enough to warrant refusal of the application.

Findings of Daylight and Sunlight Assessment

- 7.20 As noted in the introduction of this report, Members voted to defer the decision of this application pending a Daylight Sunlight Assessment to allow for a more robust judgment over the impact on neighbour amenity. A Daylight Sunlight Assessment was submitted accordingly written by Right of Light Consulting (dated 9 March 2021). The report assessed the impact of the development on the light receivable by the neighbouring properties at 90, 92 & 96 and 98 The Broadway.

- 7.21 The Study found that all neighbouring windows (that have a requirement for daylight or sunlight) pass the relevant BRE diffuse daylight and direct sunlight tests. The development also passes the BRE overshadowing to gardens and open spaces test. Overall, therefore Officers are satisfied the proposal would not cause material harm to neighbouring properties through undue loss of daylight, sunlight or overshadowing.

- 7.22 Taking the above into consideration in the round, the proposed development would not cause material harm to the amenity of nearby occupiers. Therefore the development is considered to comply with Merton Sites and Policies Plan Policies DMD2 and DMD3 in this respect.

Standard of accommodation

- 7.23 Policy D6 of the London Plan 2021 requires housing development to be of the highest quality internally and externally, and should satisfy the minimum internal space standards (specified as Gross Internal Areas -GIA) as set out in Table 3.1 of the London Plan. Policy DMD2 of the Adopted Sites and Policies Plan (2014) also states that developments should provide suitable levels of sunlight and daylight and quality of living conditions for future occupants.

Internal

Unit No.	Level	Type	Proposed GIA (sqm)	Required GIA	Compliant
Unit 1	Ground and First	2B3P	79.7 m ²	70	Yes
Unit 2	Second and Third	1B/2P	58.0 m ²	58	Yes
Unit 3	First	1B/2P	54.0 m ²	50	Yes
Unit 4	Second	1B/2P	50.4 m ²	50	Yes

- 7.24 Demonstrated by the table above, the proposed units would meet the London Plan minimum space standards. The units would have an acceptable levels of outlook and daylight. Overall, the standard of accommodation is considered acceptable.

External

- 7.25 In accordance with the London Plan Policy D6 and Policy DMD2 of the Council's Sites and Policies Plan, it states that there should be 5sqm of external space provided for private outdoor space for 1-2 person dwellings and an extra 1sqm provided for each additional occupant.
- 7.26 14 m² and 4.5m² of outdoor amenity space has been provided for units 1 and 2 respectively. Officers are mindful that the site is subject to spatial constraints limiting the ability for outdoor amenity space to be provided for all the units. Unit 3 and 4 are located in the fabric of the original building therefore it's unrealistic to expect these units to provide out door space. Taking into consideration the spatial constraints of the site in the town centre location the provision of outdoor amenity space is considered acceptable.

Housing mix

- 7.27 Policy CS 14 also states that schemes involving dwelling conversions that result in the loss of an existing family sized unit must incorporate the re-provision of at least one family sized unit – a family sized unit is one which has at least 3 bedrooms.
- 7.28 The current building contains a 4 bedroom unit (a family sized unit). The proposed housing mix is 3 x 1B2P unit & 1 x 2B3p unit.

7.29 Although the proposed development would result in the loss of a family sized unit, the existing unit does not represent typically good family accommodation given its location above a commercial unit adjoining the high street. Further, the 4 bedrooms in existing are only served by a small kitchen/diner/living space, which makes it less desirable for families to accommodate. Officers note the loss of the existing 4-bedroom flat was a reason for refusal under the previous scheme, however, upon re-review under this new application, officers do not consider this to be such a short fall to warrant a refusal in its own right based on the better accommodation now proposed. Taking this into consideration, Officers consider the housing mix appropriate for the town centre location and the benefits of providing additional units would outweigh the loss of the existing four bed unit.

Transport and parking

7.30 Policies CS20 (Parking, Servicing and Delivery) of the Adopted Merton Core Planning Strategy (2011) DM T2 (Transport Impacts of Developments) and (DM T3 (Car Parking and Servicing Standards) of the Adopted Merton Sites and Policies Plan (2014), require developers to demonstrate that their development would not adversely affect pedestrian and cycle movements, safety, the convenience of local residents or the quality of bus movements and/or facilities; on street parking and traffic management and provision of parking to the council's current standards.

7.31 The application site is well served by public transport being located within Wimbledon Town Centre and in close proximity to Wimbledon Underground and Railway Station and local bus routes. The Site has a PTAL of 6b. The site is located within Controlled Parking Zone (W3) with restrictions in place between Monday and Saturday 8.30am-11.00pm, Sunday & Bank Holidays 2.00pm - 6.00pm.

7.32 Five secure and undercover cycle parking spaces are provided at the rear of the site. The London Plan standard requires 1 space per 1 bedroom unit and 2 spaces per all other units for residential dwellings. Based on the proposed housing mix, a total of 5 parking spaces is required to satisfy London Plan standard therefore the proposal is compliant with this standard.

7.33 Given the good accessibility of the site to public transport, the existing parking pressures in the area and the policy drive for car free development, the proposal is acceptable in respect of transport and parking subject to a restriction on on-street residential parking permits for occupiers to be secured through a section 106 Agreement, as well as cycle parking provided to meet standards set out within the London Plan.

7.34 The Council's Transport Planner has reviewed the proposal and deemed the proposal acceptable subject to a permit-free legal agreement and installation of cycle parking.

7.35 Officers acknowledge concerns over ad-hoc parking along Printers Yard which is not under the control of the Council. However, it would be unreasonable to refuse the application on this basis given it is most likely occupants would adopt sustainable modes of travel due to proximity to excellent public transport links.

- 7.36 The proposed development is considered acceptable in respect of Policies CS20 (Parking, Servicing and Delivery) of the Adopted Merton Core Planning Strategy (2011) DM T2 (Transport Impacts of Developments) and (DM T3 (Car Parking and Servicing Standards) of the Adopted Merton Sites and Policies Plan (2014),

Sustainability

- 7.37 All new developments comprising the creation of new dwellings should demonstrate how the development will comply with Merton's Core Planning Strategy (2011) Policy CS15 Climate Change (parts a-d) and the Policies in outlined in Chapter 9 of the London Plan 2021
- 7.38 As a minor development proposal, the development is required to achieve a 19% improvement on Part L of the Building Regulations 2013 and water consumption should not exceed 105 litres/person/day.
- 7.39 The proposal offers opportunities to enhance the sustainability credentials of the existing building, as well as the proposed building. The Council's standard pre-occupation condition is put forward requiring evidence be submitted to show that the development has achieved CO2 reductions of not less than a 19% improvement on Part L regulations 2013, and internal water consumption rates of no greater than 105 litres per person per day.

Refuse

- 7.40 A bin store is proposed at ground floor level served by Printers Yard. The store would be accessed through sliding doors along the passageway allowing suitable access for waste operators.
- 7.41 Space for four 360 litre wheelie bins has been provided providing enough refuse capacity for the four units proposed.
- 7.42 Waste Services were consulted for the application and have confirmed wheelie bins are appropriate for this location. However, they have recommended some protective material is installed on the side elevation around the bins to avoid any accidental damage by refuse collectors. A condition has been put forward requiring this.

8. CONCLUSION

- 8.1 The proposed development would result in a net increase of four residential units making a small contribution to Merton's housing supply in a sustainable location. The development has been reduced in scale, depth and width in comparison to previous application 20/P1928 and Officers are satisfied the proposal would not harm the character and appearance of the area nor cause material harm to the amenity of nearby occupiers. The proposed development would provide an acceptable standard of external and internal space taking into consideration the constraints of the site. The loss of the four bed unit in favour of four smaller units is considered acceptable given the town centre location and given the existing four bed unit fails to represent good family accommodation. The proposed development is considered acceptable in

respect of all other planning considerations including Transport, Refuse and Sustainability subject to appropriate conditions and a permit free legal agreement.

9. RECOMMENDATION

9.1 Grant permission subject to:

a) the completion of a Section 106 Agreement covering the following heads of terms:

1. Future Occupiers of the proposed development are restricted from obtaining residents parking permits for the CPZ.
2. The developer agreeing to meet the Councils costs of preparing (including legal fees) the Section 106 Obligations.

b) And subject to conditions

Conditions

1. **A1 Commencement of development (full application):** The development to which this permission relates shall be commenced not later than the expiration of 3 years from the date of this permission.
2. **A7 Approved Plans:** The development hereby permitted shall be carried out in accordance with the following approved plans: 094TB-A-03-103; 094TB-A-03-104; 094TB-A-03-105; 094TB-A-03-106; 094TB-A-03-107; 094TB-A-05-108; 094TB-A-05-110; 094TB-A-06-109; 094TB-A-06-110.

Reason: For the avoidance of doubt and in the interests of proper planning

3. **B3 External Materials as Specified:** The facing materials to be used for the development hereby permitted shall be those specified in the application form unless otherwise agreed in writing by the Local Planning Authority

Reason: To ensure a satisfactory appearance of the development and to comply with the following Development Plan policies for Merton: policy 7.6 of the London Plan 2016, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

4. **C03 Obscured Glazing:** Before the development hereby permitted is first occupied, the first and second floor windows in the eastern side elevation shall be glazed with obscure glass and shall permanently maintained as such thereafter

Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policy 7.6 of the London Plan 2016, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

5. **C07 Refuse & Recycling (Implementation):** Prior to occupation, the refuse and recycling facilities shall be fully implemented and made available for use..

Reason: To ensure the provision of satisfactory facilities for the storage of refuse and recycling material and to comply with the following Development Plan policies for Merton: policy 5.17 of the London Plan 2016, policy CS17 of Merton's Core Planning Strategy 2011 and policy DM D2 of Merton's Sites and Policies Plan 2014.

6. **Protection to flank wall:** Details of appropriate measures to protect the eastern flank wall from accidental damage by waste operators shall be submitted to the Local Planning Authority. The protective measures approved shall be fully implemented prior to first occupation of any flat.

Reason: To ensure the provision of satisfactory facilities for the storage of refuse and recycling material and to comply with the following Development Plan policies for Merton: policy 5.17 of the London Plan 2016, policy CS17 of Merton's Core Planning Strategy 2011 and policy DM D2 of Merton's Sites and Policies Plan 2014.

7. **Construction Method Statement:** No development shall take place until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the demolition and construction period. The Statement shall provide for: -hours of operation -the parking of vehicles of site operatives and visitors - loading and unloading of plant and materials -storage of plant and materials used in constructing the development -the erection and maintenance of security hoarding including decorative -displays and facilities for public viewing, where appropriate -wheel washing facilities -measures to control the emission of noise and vibration during construction. -measures to control the emission of dust and dirt during construction/demolition -a scheme for recycling/disposing of waste resulting from demolition and construction works.

Reason: To protect the amenities of future occupiers and those in the local vicinity

8. **CLP:** The development shall not commence until a demolition/Construction Logistics Plan (including a Construction Management plan in accordance with TFL guidance) should be submitted to LPA for approval before commencement of work.

Reason: To ensure the safety of pedestrians and vehicles in the surrounding area and to comply with the following Development Plan policies for Merton: policies 6.3 and 6.14 of the London Plan 2016, policy CS20 of Merton's Core Planning Strategy 2011 and policy DM T2 of Merton's Sites and Policies Plan 2014.

9. **No access to flat roof:** Access to the flat roof fronting The Broadway shall be for maintenance or emergency purposes only, and the flat roof shall not be used as a roof garden, terrace, patio or similar amenity area.

Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policy 7.6 of the London Plan 2016, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014

10. **Hours/days of construction:** No demolition or construction work or ancillary activities such as deliveries shall take place before 8am or after 6pm Mondays - Fridays inclusive, before 8am or after 1pm on Saturdays or at any time on Sundays or Bank Holidays.

Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with the following Development Plan policies for Merton: policy 7.15 of the London Plan 2016 and policy DM EP2 of Merton's Sites and Policies Plan 2014.

11. **Climate Change:** No part of the development hereby approved shall be occupied until evidence has been submitted to, and approved in writing by, the Local Planning Authority confirming that the development has achieved CO2 reductions of not less than a 19% improvement on Part L regulations 2013, and internal water consumption rates of no greater than 105 litres per person per day.

Reason: To ensure that the development achieves a high standard of sustainability and makes efficient use of resources and to comply with the following Development Plan policies for Merton: Policy 5.2 of the London Plan 2016 and Policy CS15 of Merton's Core Planning Strategy 2011.

12. **Cycle Parking:** The development hereby permitted shall not be occupied until the cycle parking shown on the plans hereby approved has been provided and made available for use. These facilities shall be retained for the occupants of and visitors to the development at all times.

Reason: To ensure satisfactory facilities for cycle parking are provided and to comply with the following Development Plan policies for Merton: policy 6.13 of the London Plan 2016, policy CS18 of Merton's Core Planning Strategy 2011 and policy DM T1 of Merton's Sites and Policies Plan 2014.

NORTHGATE SE GIS Print Template



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All external surfaces and materials to match existing.

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REV	No.	Description	Date
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Client

Edgewater Group

Project Address

94 The Broadway, London, SW19 1RH

Dwg No

094TB-A-02-101

Drawing

Proposed Visualization -Front

Reason for Issue

Planning

Issue Date

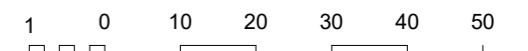
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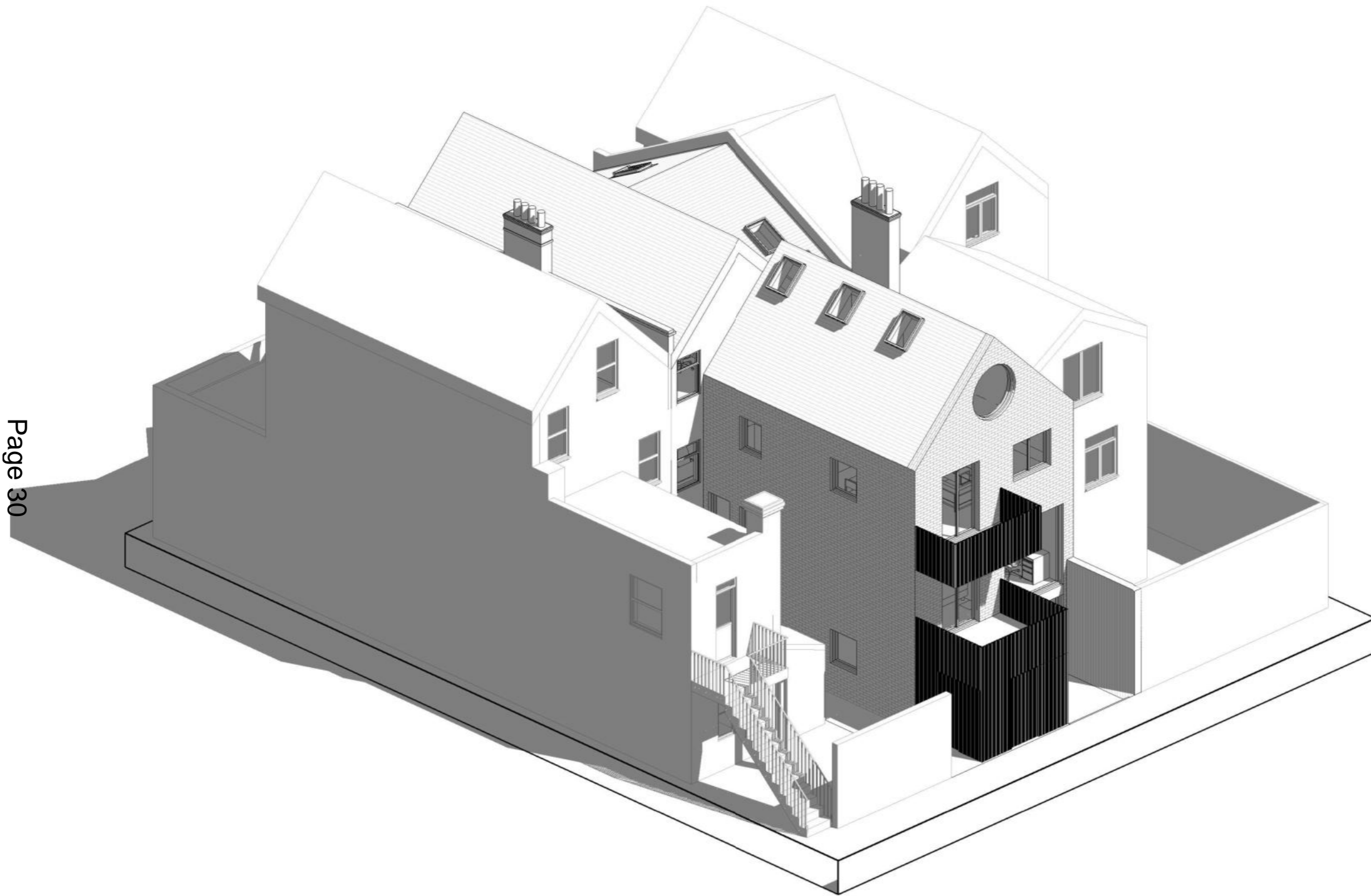
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REV	No.	Description	Date
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Client

Edgewater Group

Project Address

94 The Broadway, London, SW19 1RH

Dwg No

094TB-A-02-102

Drawing

Proposed Visualization- Rear

Reason for Issue

Planning

Issue Date

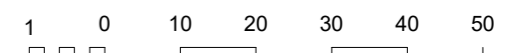
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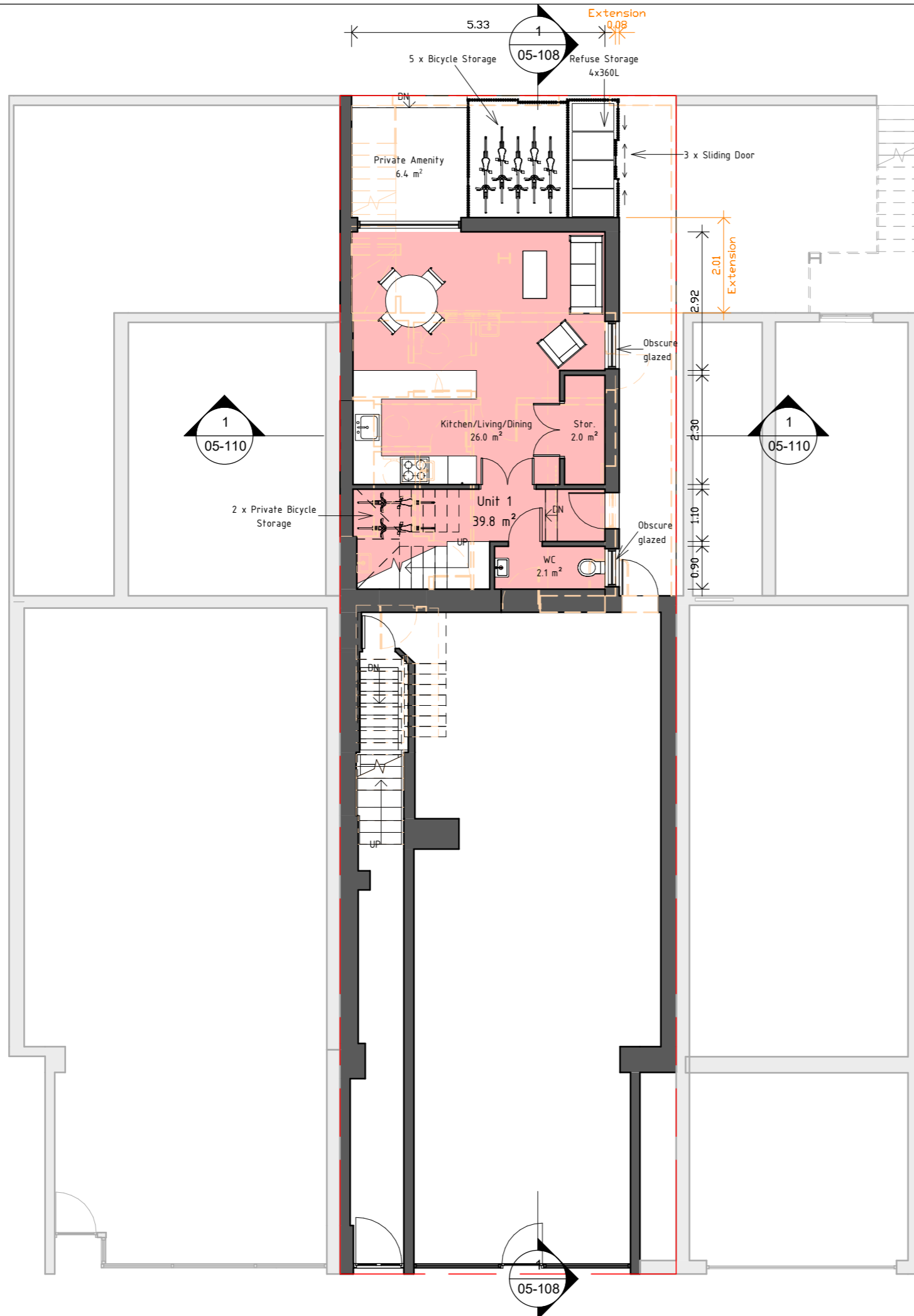
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R.Z.

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Area Schedule (Rentable)		
Name	Area	Comments
Unit 1	79.7 m ²	2B 3P 2 STOREY
Unit 2	58.0 m ²	1B 2P 2 STOREY
Unit 3	54.0 m ²	1B 2P
Unit 4	53.5 m ²	1B 2P
	245.2 m ²	

REV	No.	Description	Date
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Client

Edgewater Group

Project Address

94 The Broadway, London, SW19 1RH

Dwg No

094TB-A-03-103

Drawing

Proposed Ground Floor

Reason for Issue

Planning

Issue Date

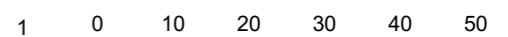
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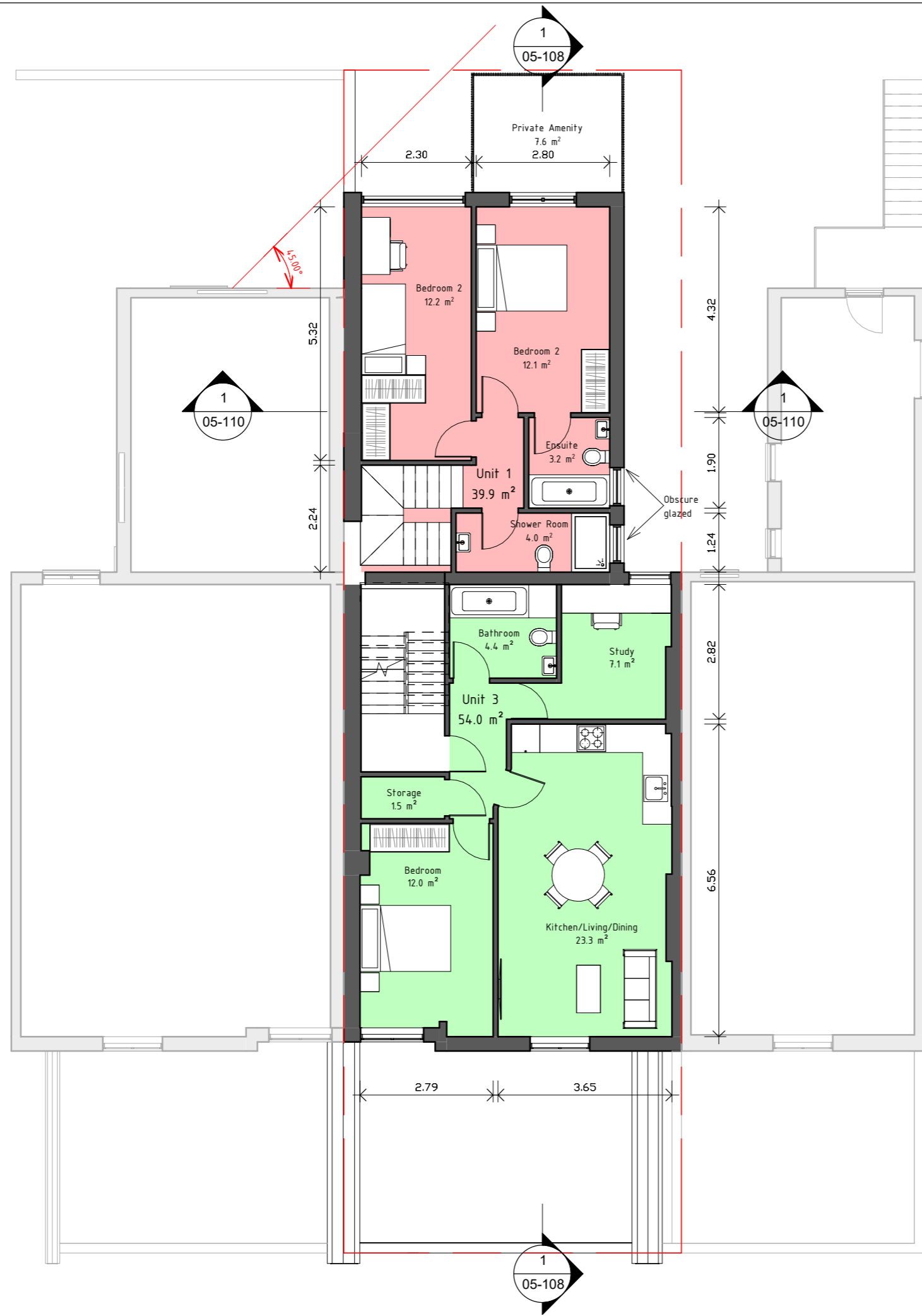
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Unit 2	58.0 m ²	1B 2P 2 STOREY
Unit 3	54.0 m ²	1B 2P
Unit 4	53.5 m ²	1B 2P
	245.2 m ²	

REV	No.	Description	Date

Client

Edgewater Group

Project Address

94 The Broadway, London, SW19 1RH

Dwg No

094TB-A-03-104

Drawing

Proposed First Floor

Reason for Issue

Planning

Issue Date

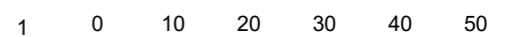
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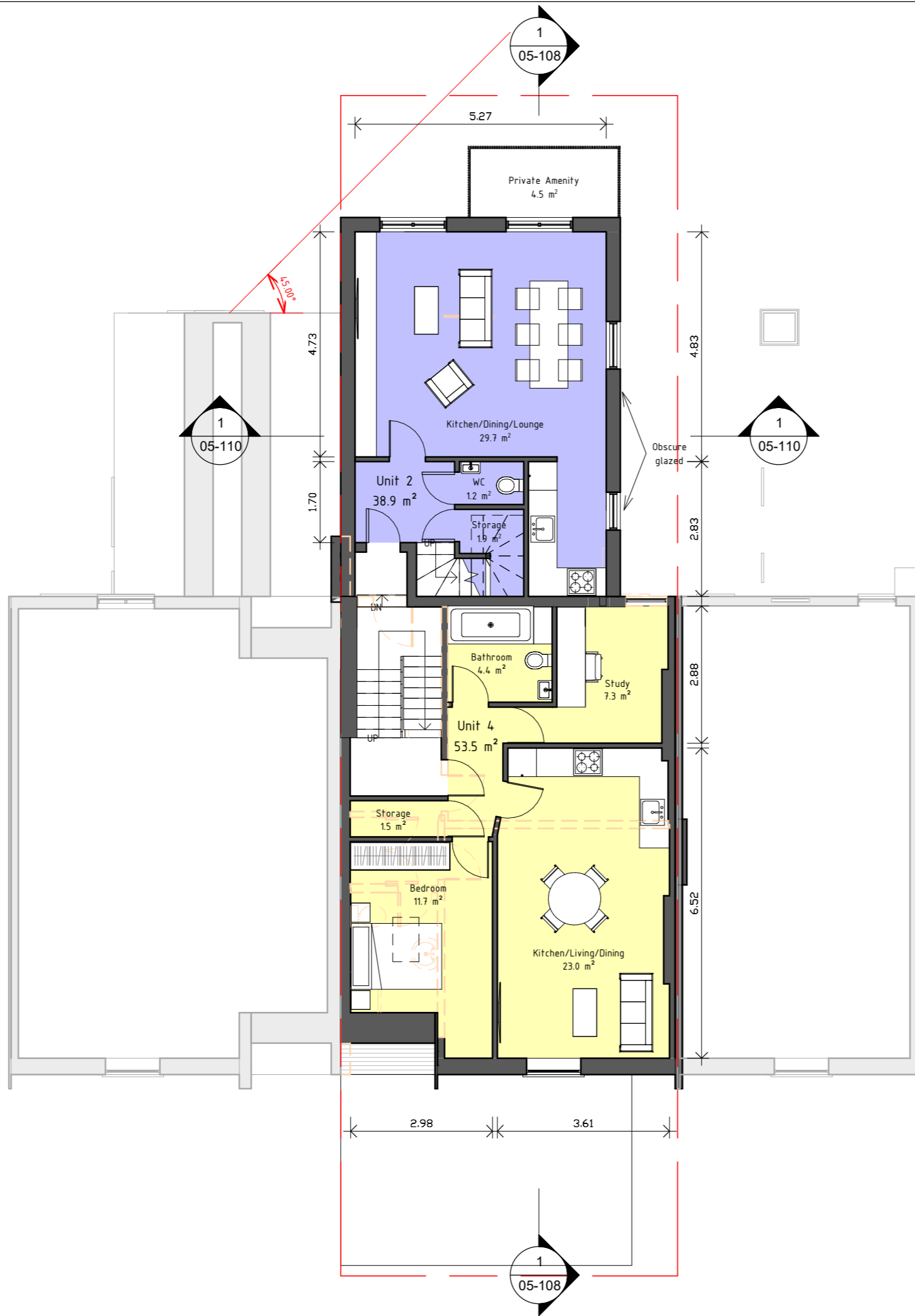
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Area Schedule (Rentable)		
Name	Area	Comments
Unit 1	79.7 m ²	2B 3P 2 STOREY
Unit 2	58.0 m ²	1B 2P 2 STOREY
Unit 3	54.0 m ²	1B 2P
Unit 4	53.5 m ²	1B 2P
	245.2 m ²	

REV	No.	Description	Date
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Client

Edgewater Group

Project Address

94 The Broadway, London, SW19 1RH

Dwg No

094TB-A-03-105

Drawing

Proposed Second Floor

Reason for Issue

Planning

Issue Date

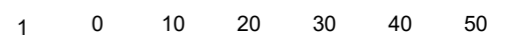
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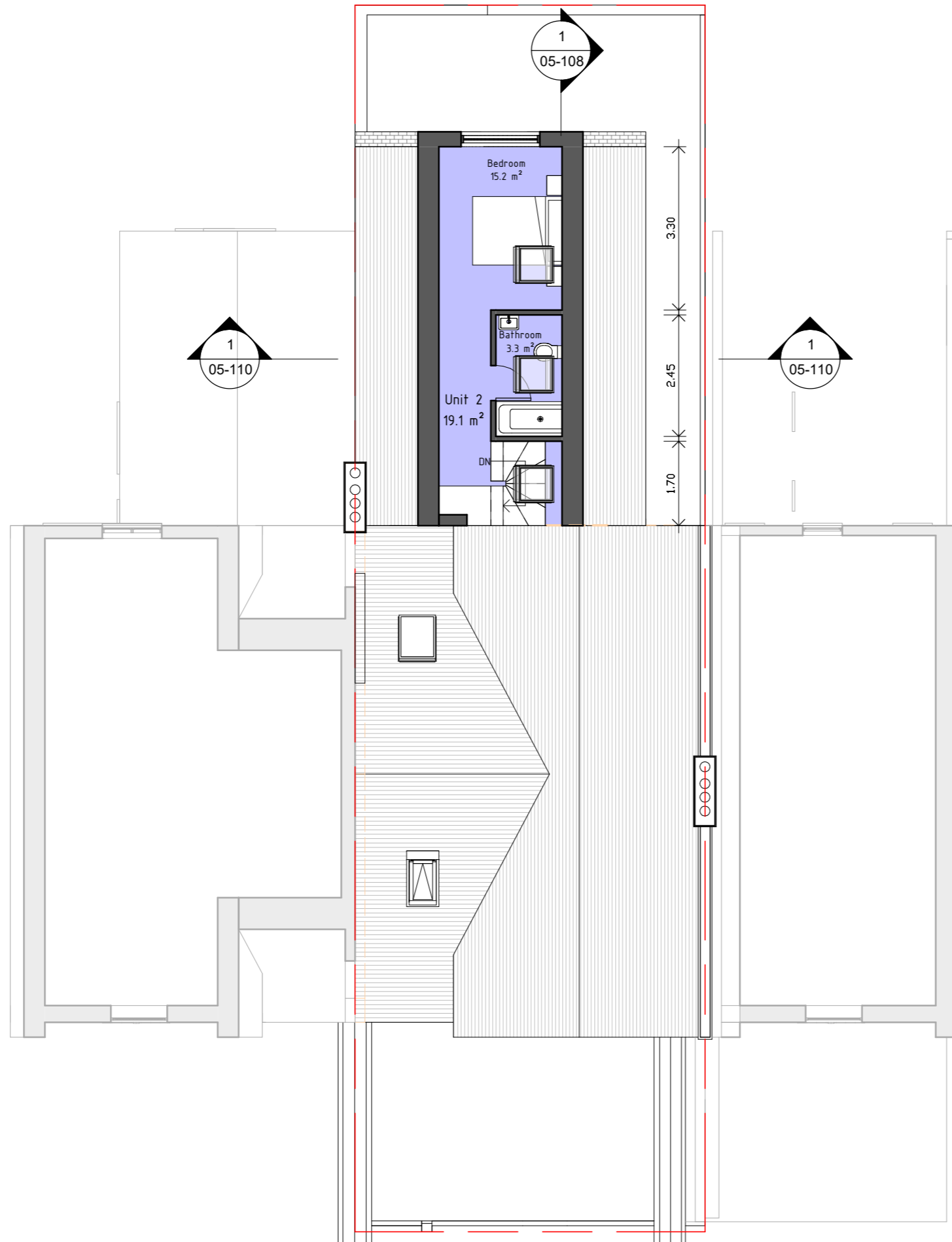
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Area Schedule (Rentable)		
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Unit 2	58.0 m ²	1B 2P 2 STOREY
Unit 3	54.0 m ²	1B 2P
Unit 4	53.5 m ²	1B 2P
	245.2 m ²	

REV	No.	Description	Date
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Client
 Edgewater Group

Project Address
 94 The Broadway, London, SW19 1RH

Dwg No
 094TB-A-03-106

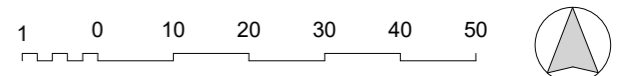
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 Proposed Thrid Floor

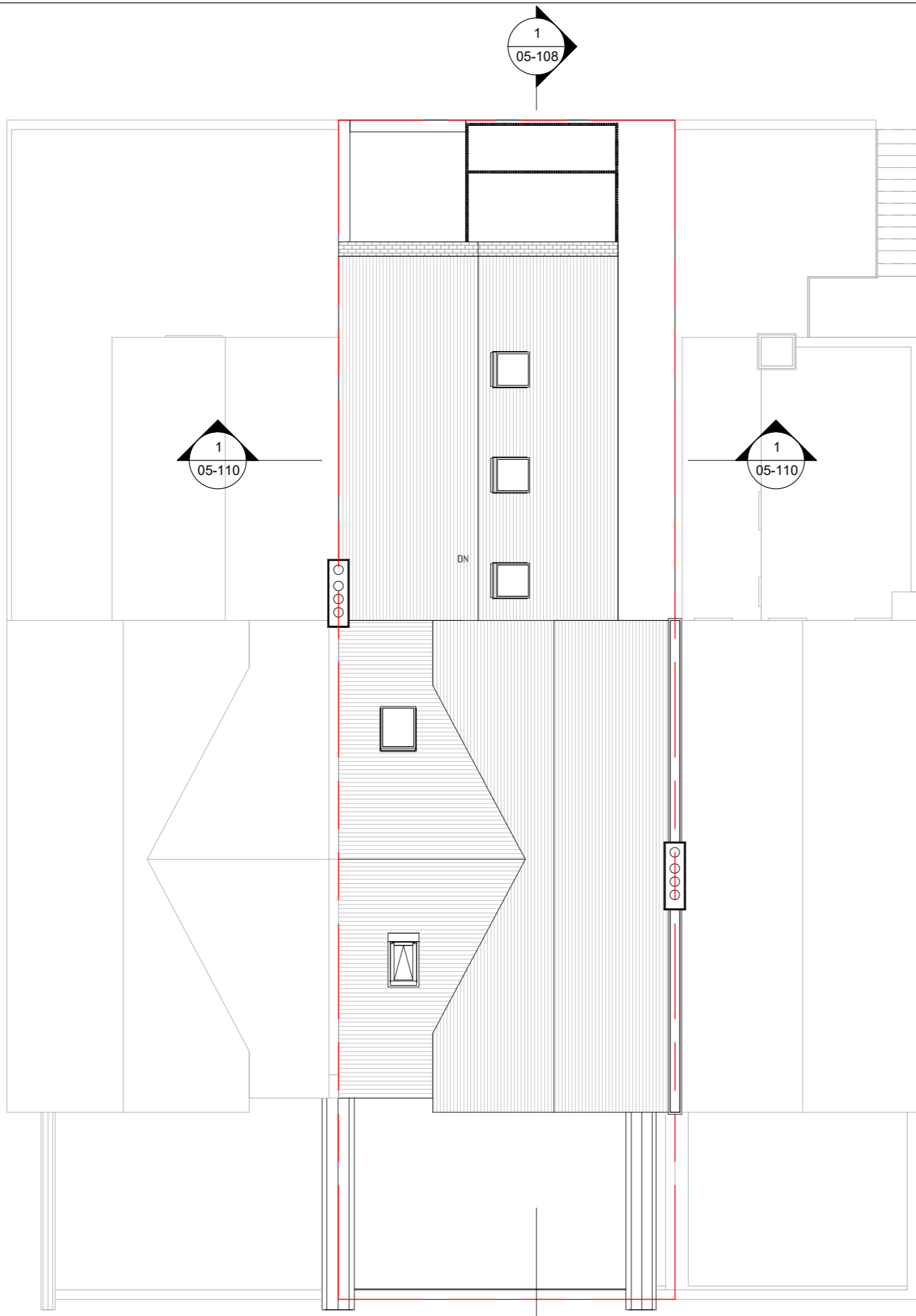
Reason for Issue
 Planning

Issue Date
 18.09.2020

Drawn by
 R.Z.

Scale
 1 : 100 @ A3





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All dimensions to be verified on site. All work to comply with British Standards Code of practice.
All external surfaces and materials to match existing.

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REV	No.	Description	Date
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Client

Edgewater Group

Project Address

94 The Broadway, London, SW19 1RH

Dwg No

094TB-A-03-107

Drawing

Proposed Roof Plan

Reason for Issue

Planning

Issue Date

18.09.2020

Drawn by

R.Z.

Scale

1 : 100 @ A3





Notes:

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All dimensions to be verified on site. All work to comply with British Standards Code of practice.
All external surfaces and materials to match existing.

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REV	No.	Description	Date
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Client

Edgewater Group

Project Address

94 The Broadway, London, SW19 1RH

Dwg No

094TB-A-05-108

Drawing

Proposed Section 1

Reason for Issue

Planning

Issue Date

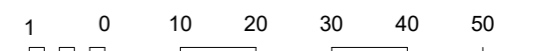
18.09.2020

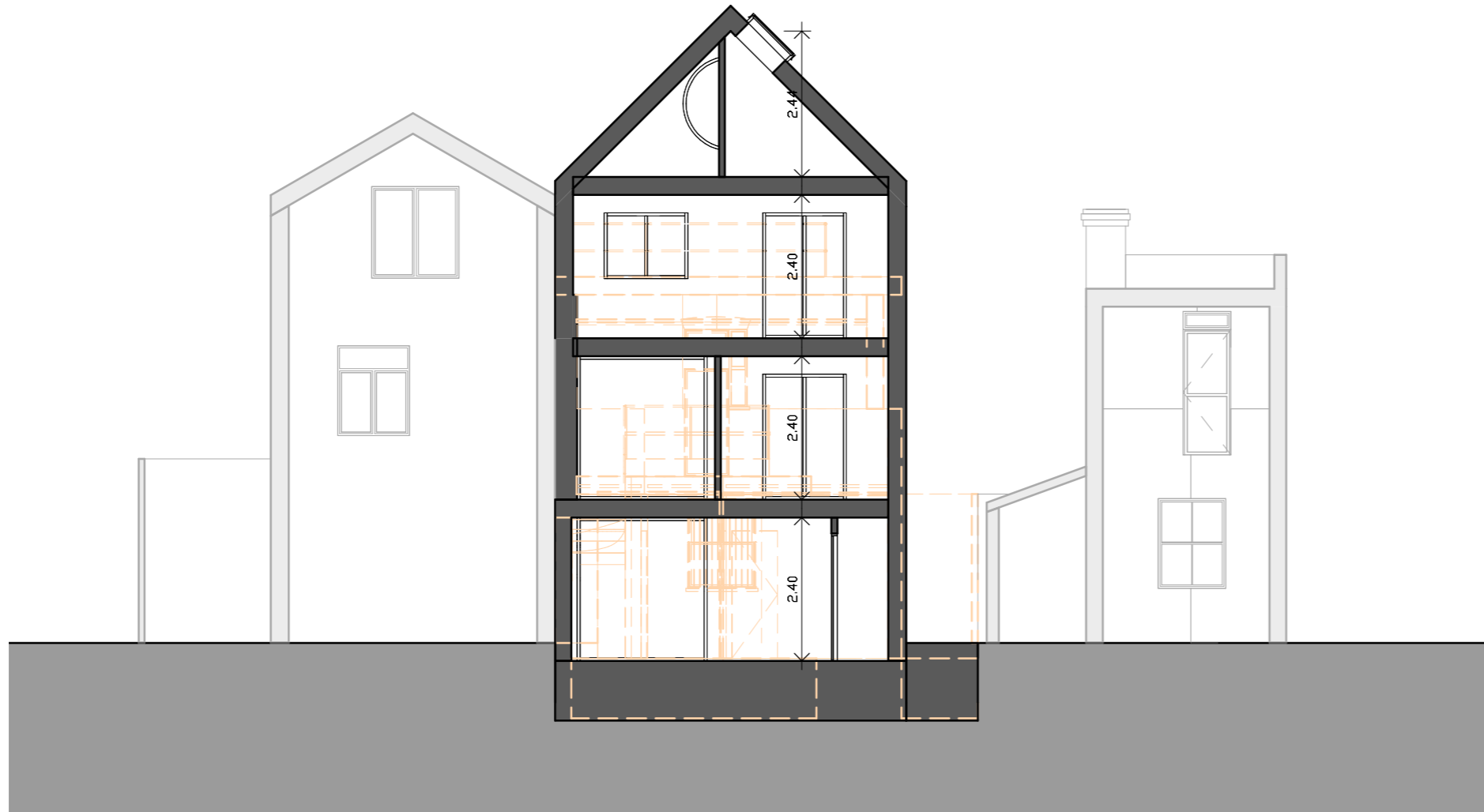
Drawn by

R.Z.

Scale

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Notes:

Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing.
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REV	No.	Description	Date
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Client

Edgewater Group

Project Address

94 The Broadway, London, SW19 1RH

Dwg No

094TB-A-05-110

Drawing

Proposed Section 2

Reason for Issue

Planning

Issue Date

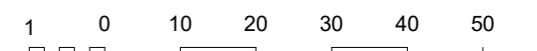
18.09.2020

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R.Z.

Scale

1 : 100 @ A3





01 - Proposed South Elevation



02 - Proposed North Elevation

Notes:

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REV	No.	Description	Date
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Client

Edgewater Group

Project Address

94 The Broadway, London, SW19 1RH

Dwg No

094TB-A-06-109

Drawing

Proposed Elevations

Reason for Issue

Planning

Issue Date

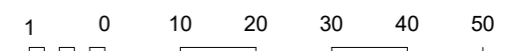
18.09.2020

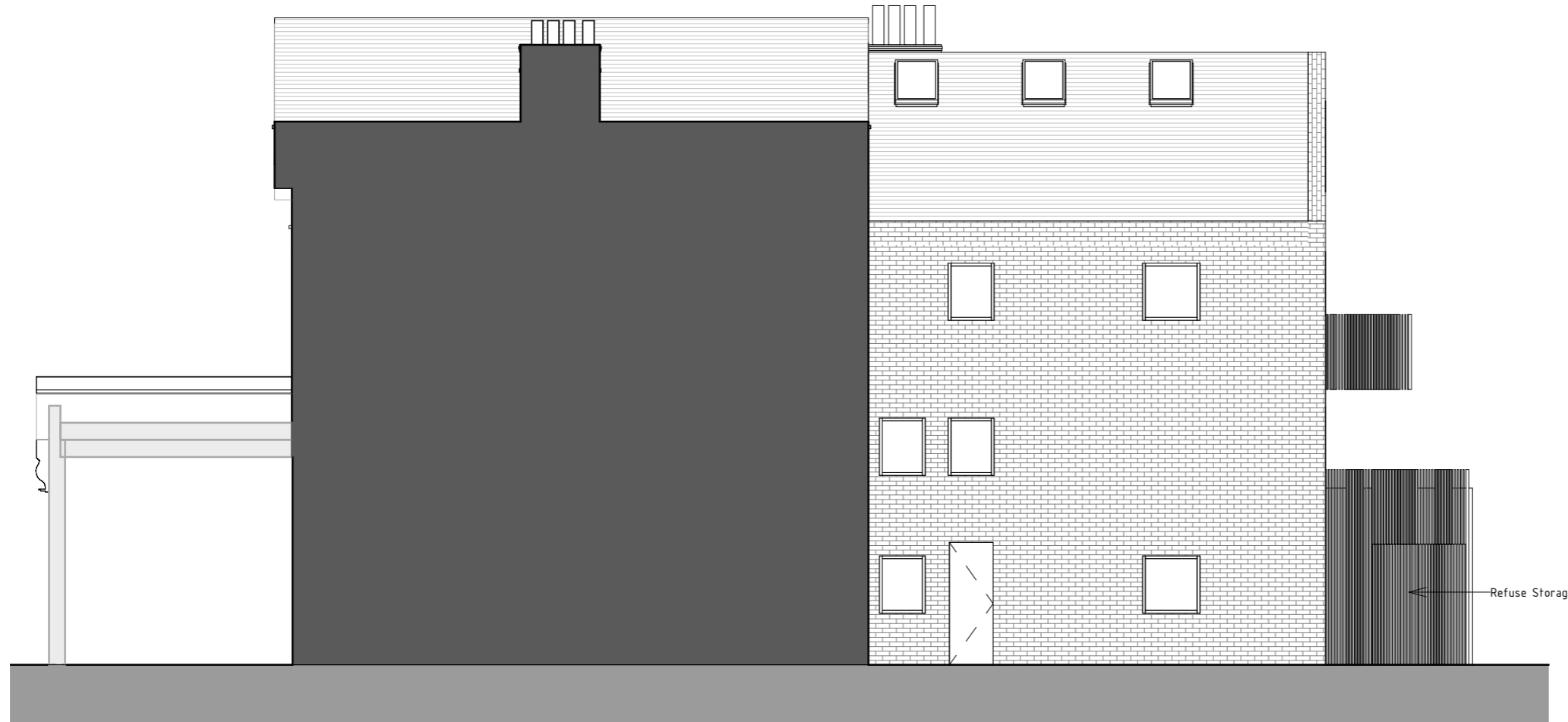
Drawn by

R.Z.

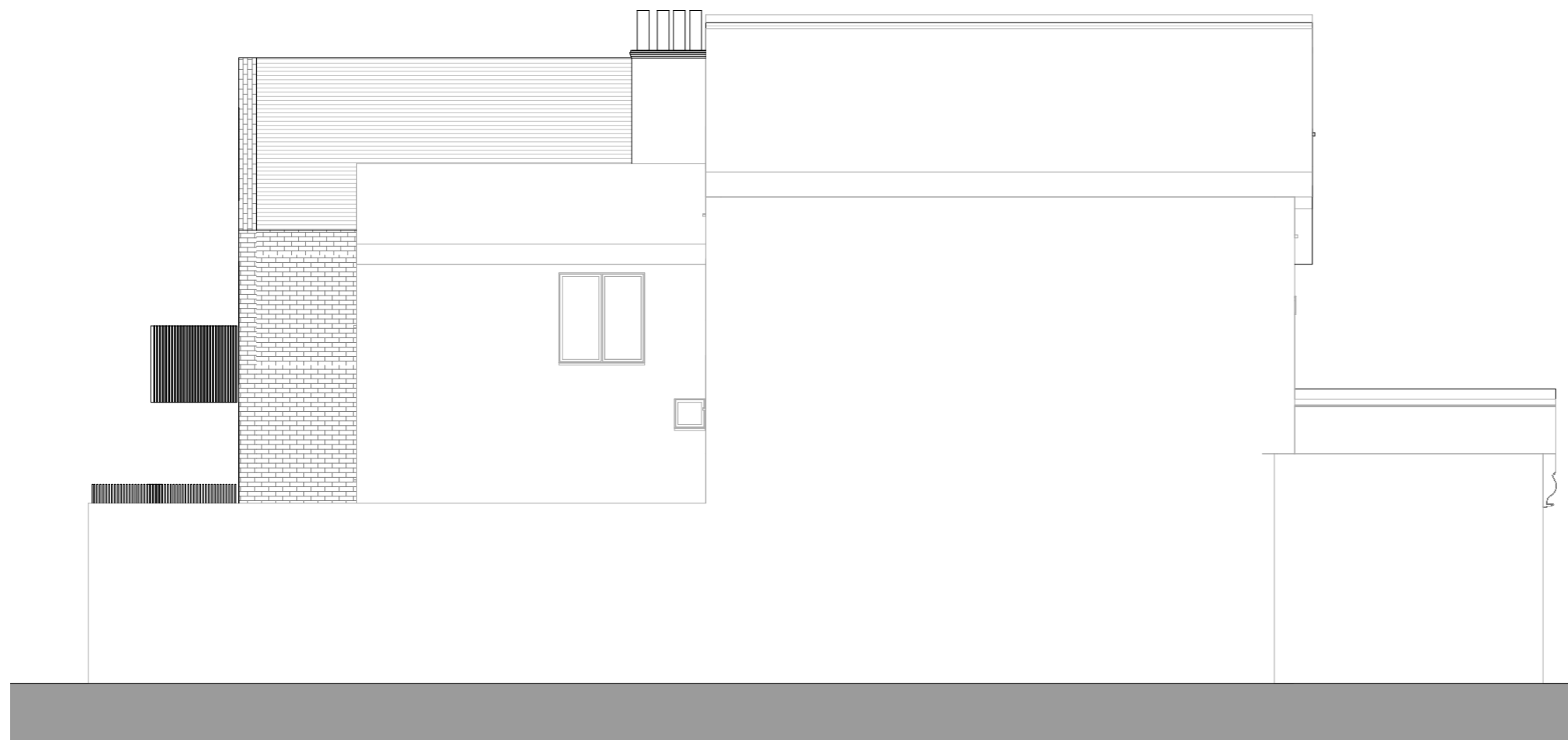
Scale

1 : 100 @ A3





03 - Proposed East Elevation



04 - Proposed West Elevation

Notes:

Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing.
All dimensions to be verified on site. All work to comply with British Standards Code of practice.
All external surfaces and materials to match existing.

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REV	No.	Description	Date
-----	-----	-------------	------

Client

Edgewater Group

Project Address

94 The Broadway, London, SW19 1RH

Dwg No

094TB-A-06-110

Drawing

Proposed Elevations

Reason for Issue

Planning

Issue Date

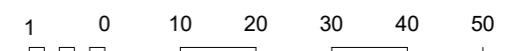
18.09.2020

Drawn by

Author

Scale

1 : 100 @ A3



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PLANNING APPLICATIONS COMMITTEE
29th April 2021

UPRN	APPLICATION NO. 20/P1046	Item No: DATE VALID 16.07.2020
Address/Site	57 Coombe Lane Raynes Park SW20 0BD	
(Ward)	Raynes Park	
Proposal:	ERECTION OF A TWO STOREY REAR EXTENSION, HIP TO GABLE AND REAR ROOF DORMER EXTENSIONS AND GARDEN ANNEX.	
Drawing Nos;	Site location plan and drawings; 1312-PL02-201 Rev A, 1312-PL02-202 Rev A, 1312-PL02-203 Rev B, 1312- PL02-204 Rev B, 1312-PL02-205 Rev A & 1312-PL02- 206 Rev C	

Contact Officer: Leigh Harrington (020 8545 3836)

RECOMMENDATION

Grant planning permission subject to relevant conditions

CHECKLIST INFORMATION.

- Heads of agreement: No
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Impact Assessment been submitted: No
- Design Review Panel consulted: No,
- Number of neighbours consulted: 5
- Press notice – No
- Site notice – Yes
- External consultations: Nil
- Archaeological Priority Zone – No
- Flood risk zone - No
- Controlled Parking Zone – No
- Number of jobs created: N/A
- Density N/A

1 INTRODUCTION

- 1.1 The application has been brought before the Committee due to the level of public interest and the nature of objections.

2. SITE AND SURROUNDINGS

The application site is a two-storey semi-detached single family dwelling located on the south side of Coombe Lane in Raynes Park. The property has a single storey rear extension which touches a conjoined garage accessed via a shared drive and a further utility room to the rear. The rear of the site backs onto the rear gardens of houses in Camberley Avenue. The site is not in a conservation area.

3. CURRENT PROPOSAL

The application is for ERECTION OF A TWO STOREY REAR EXTENSION, HIP TO GABLE AND REAR ROOF DORMER EXTENSIONS AND GARDEN ANNEX and follows a refused scheme for a longer full width first floor rear extension, LBM Ref 19/P2398.

- 3.1 As with the previous scheme, on the ground floor the proposals involve the erection of a further 2m of single storey rear extension to the existing 4m depth to create a larger full width extension featuring an open plan kitchen and dining room with sliding doors out to a shallow patio in the back garden. The extension would have a flat roof with central skylight and for this proposal it would now be finished in render to the sides and rear elevation with zinc being confined to the flat roof of the extension.
- 3.2 This extension would extend over part of the shared access to the garage. The extension would also cut into the existing garage which would be remodelled as a flat roofed utility room with the existing utility room being demolished.
- 3.3 A garden outbuilding would be erected at the end of the garden to provide an office space to the front and storage to the rear. The 3m high flat roofed structure would also be finished in a mix of render and zinc. The outbuilding would have side access and a door flanked by glazed panels in the elevation facing the house.
- 3.4 The main difference between the refused proposals and the application before members is the new first floor level. In the previous refusal this part of the proposal was to have projected 2.25m from the rear of the house and full width with a flat roof to provide a larger bedroom with ensuite. The initial plans for the current proposals only varied the earlier scheme in terms of the replacement of a flat roof with a pitched one. Following further discussions the design has again been amended such that externally measured the extension would be 2m deep and would now be set 2m away from the boundary with the adjoining neighbour.

3.5 At roof level the proposals involve the creation of a hip to gable and rear roof dormer extension. The roof works would be of a standard design and appearance for this type of extension. The full width dormer would be finished in hanging roof tiles with rear facing fenestration and the gable element of the roof would accommodate three roof lights to the front roof slope. There would be no window in the flank elevation and the interior would accommodate two bedrooms, a bathroom and a storage space.

4. PLANNING HISTORY

19/P2398 Planning application Refused for the erection of a part single part two storey rear extension and a garden annex and alterations to existing attached outbuilding.

Reason The proposed part single part two storey rear extension, by reason of their design, materials, position, bulk and massing, represent an unneighbourly form of development that would be unduly prominent, visually dominant and intrusive, detracting from the appearance, scale and proportions of the host dwelling, failing to enhance and relate positively and appropriately to the siting, scale, proportions, height and massing of surrounding buildings and wider public realm. The proposals would be contrary to London Plan 2016 policies 7.4 & 7.6, policy CS.14 of the Merton LDF Core Planning Strategy (2011) and policies DM D1, DM D2 and DM D3 of the Merton sites and Policies Plan (2014).

19/P2401 LDC issued in respect of a proposed hip to gable and rear roof dormer extension and the inclusion of three roof lights in the front roof slope.

15/P1022 Planning permission granted for retention of a single storey structure (attached to rear garage)

12/P1559 Certificate of Lawful development issued for a proposed outbuilding.

12/P3365 Lawful development certificate issued in respect of a proposed hip to gable and rear roof dormer extension with two front roof lights.

5. CONSULTATION

Site notice was posted outside the property and letters sent to neighbours. The two side neighbours objected to both consultations and the one to the rear only to one of them following the changes the matter was reconsulted upon. Objections raised concerns relating to;

- The rear outbuilding should be 2m from the boundary.
- The hammerhead area is not entirely the neighbours and is a shared access. There has been no agreement between the two

houses (59 and 57) about use of this shared land for a permanent structure, i.e. the proposed width extension of their ground floor.

- We do appreciate that there have been some amendments to the initial plans, in particular that the width of the proposed first floor extension has been reduced and a pitch rather than flat roof is now proposed, but remain concerned at the potential impact in terms of scale and size (i.e., 'bulk and massing'). We believe, therefore, that the grounds for the previous refusal continue to apply.
- There has been a reduction in the width (but not the length) of the proposed extension to the first floor. This does nothing to improve our sight of the side elevation compared with previous applications.
- Claim for a precedent at 79 is misleading as there is no first floor extension there.
- The sloping roof of the proposed new first floor extension is an untoward 0.87 m higher than the original roof line and this also emphasises its unsuitability. If there is to be a slope (as opposed to a flat roof) it should start no higher than the top of the original wall line and slope down from there.
- To suggest that the single storey rear extension will "*only project 2 m from existing rear building line*" is meant to be misleading
- Harmful impact on appearance of the front garage conversions and structural integrity caused by the mis-match in design.
- The existing laurel tree needs to be protected.
- Incomplete application forms
- Should the application be approved, we would request that:
 1. The applicant is informed that the Party Wall Act 1996 is applicable and that we would expect to be informed in writing in advance of any works commencing so that we could appoint our own Party Wall Surveyor, to be paid for by the applicants;
 2. The redevelopment should prohibit access to the flat roof on the ground floor in order to protect our privacy;
 3. The applicant ensures there is no negative impact on the common foul sewer that runs at the back of our properties and which the currently planned rearward extension would be built upon.

6. POLICY CONTEXT

London Plan 2021.

D3 Optimising site capacity through the design-led approach.

D4 Delivering good design.

Merton Core Strategy 2011.

CS 14 Design

Merton Adopted Sites and Policies Plan 2014.
DM D2 Design considerations
DM D3 Alterations and extensions to buildings

7. PLANNING CONSIDERATIONS

The planning considerations in this case relate to the impact of the scale and design of the part single part two storey rear extension, hip to gable and rear roof dormer extensions and garden annex and alterations to existing attached outbuilding on the appearance of the house, the wider setting and neighbour amenity.

7.1 Scale and bulk

It is considered that any proposal should comply with SPP policy DM D3 and Core Strategy Policy CS 14 and should be well designed and sympathetic to both the bulk and proportions of the original building whilst complementing the character and appearance of the wider setting and respecting the space between buildings where it contributes to that character, whilst policy DM D2 requires the use of appropriate materials. Additionally London Plan policy D3 requires that development proposals should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape, with due regard to existing and emerging street hierarchy, building types, forms and proportions.

7.2 The ground floor proposals would extend the depth of the existing 4m extension by more than 2m to take the overall external depth to around 6.3m. The flat roof design would cross over to the altered garage so that it also had a new flat roof and this would abut the tiled pitched roof of the neighbour's part of the garage building. The ground floor extension could be built over the shared access to the garages subject to neighbour agreement. The ground floor works would now be finished in a white painted render to better reflect the existing building and to be less visually intrusive than the previously proposed zinc sections. The works would be 3.26m high above the deck and about 3.4m above ground level.

7.3 Concerns were raised about the impact of having a flat roof abutting the pitched roof element of the garage given the symmetry of the existing garage building. Whilst the garage building is set back from the pavement it is readily visible from the street, however the proposed height of the garage is such that the flat roof would only sit marginally lower than the existing shared ridge line which is considered to mitigate the impact of the divergent roof pitches such that it would not warrant a refusal of the application.

7.4 The proposals include works at first floor level and now in response to officer and neighbour concerns the extension would no longer be full width and would be set in 2m from the adjoining property and have a reduced depth of 2m. The originally proposed flat roof being replaced

by a pitched roof and the zinc accents have been removed. These changes reduce the bulk and visual impact of the proposals.

7.5 The hip to gable and rear roof dormer constitute development and have been included as part of the application for the sake of completeness. Officers note however that they would be within permitted development tolerances and have already been issued a Lawful Development Certificate.

7.6 The outbuilding is considered to be sufficiently set away from the house and neighbouring properties so as not to be harmful to either the house appearance or character.

7.7 With extensions at ground, first and roof levels it may reasonably be considered that the proposals represent a significant increase in the scale, bulk and massing of the original building. However the works to the house are located predominantly to the rear and the house itself is a large property set within a large plot. The materials, whilst modern, are now more reflective of the original house and, on balance, it is considered that the proposals accord with relevant policies sufficiently so as not to warrant a refusal of the application.

7.8 Neighbour amenity

SPP policy DM D2 requires proposals not to have a negative impact on the amenity of neighbours through loss of light, privacy and visual intrusion. London Plan Policy D3 requires proposals not to cause unacceptable harm to the amenity of surrounding land and that people feel comfortable with their surroundings.

7.9 Objections were received from neighbouring residents concerned that a loss of light would occur as a result of the height of the ground floor extension and the protrusion at first floor level. However at ground floor level the adjoining neighbour has their own extension and the proposed extension would only be around 2m longer than that. At first floor level the closest windows are frosted bathroom windows. It is considered that the impact on light to habitable rooms would be limited such as to not warrant a refusal on the grounds of loss of light. The works have also been positioned such as not to encroach within the “45 degree angle of view” of neighbouring windows which is considered to mitigate the impact of any visual intrusion. The works to the house are therefore not considered harmful to the visual amenities of neighbours.

7.10 Objections were raised concerning the impact of the outbuilding on the amenity of the neighbour to the rear of the site. The outbuilding will be 3m high and at its closest point to the boundary would be 1.38m from the rear fence. At this point it is to be largely set behind mature trees and where it is not screened by the trees it is to be 2.13m from the boundary. It is considered that this would be sufficient space from that rear boundary not to cause any significant loss of light or overshadowing to the neighbouring garden.

In view of these factors the proposals are not considered to be materially harmful to neighbour amenity.

7.11 Other matters

Objections were raised concerning building on the shared garage access. Part of the ground floor works would be outside the curtilage of the property and take place on the shared access. This land is typically marked in a different colour by the Land Registry as whilst part of the applicants land there is a right of access over it for the neighbouring property and vice versa. This right of access is to allow ease of access for both properties to the garages. The grant of planning permission would not override the need for the applicant to reach an agreement with the neighbours with a right of access over that land to allow any construction to take place.

8. SUSTAINABILITY AND ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS.

8.1 The proposal does not constitute Schedule 1 or Schedule 2 development. Accordingly there is no requirement for an EIA submission.

9. CONCLUSION

9.1 Officers have negotiated reductions in the size of extensions and secured an amended design which is considered acceptable. Compared to the previously refused application the applicant has removed some of the zinc panelling from the first floor extension and reduced the width and the depth of the first floor rear extension in order to reduce the impact on neighbour amenity and to make the works less visually intrusive. Additionally the flat roof would now be a tiled roof. These amendments are considered to have overcome previous reasons for refusal.

9.2 Extensions at ground, first and roof levels the proposals represent a significant increase in the scale, bulk and massing of the original building. However the works are located predominantly to the rear of the house, the outbuilding being at the far end of the garden and the house itself is a large property set within a large plot and the proposals have been designed to limit the impact on neighbour amenity. It is therefore considered that the proposals have overcome previous reasons for refusal and on balance they do not warrant a refusal of permission.

RECOMMENDATION

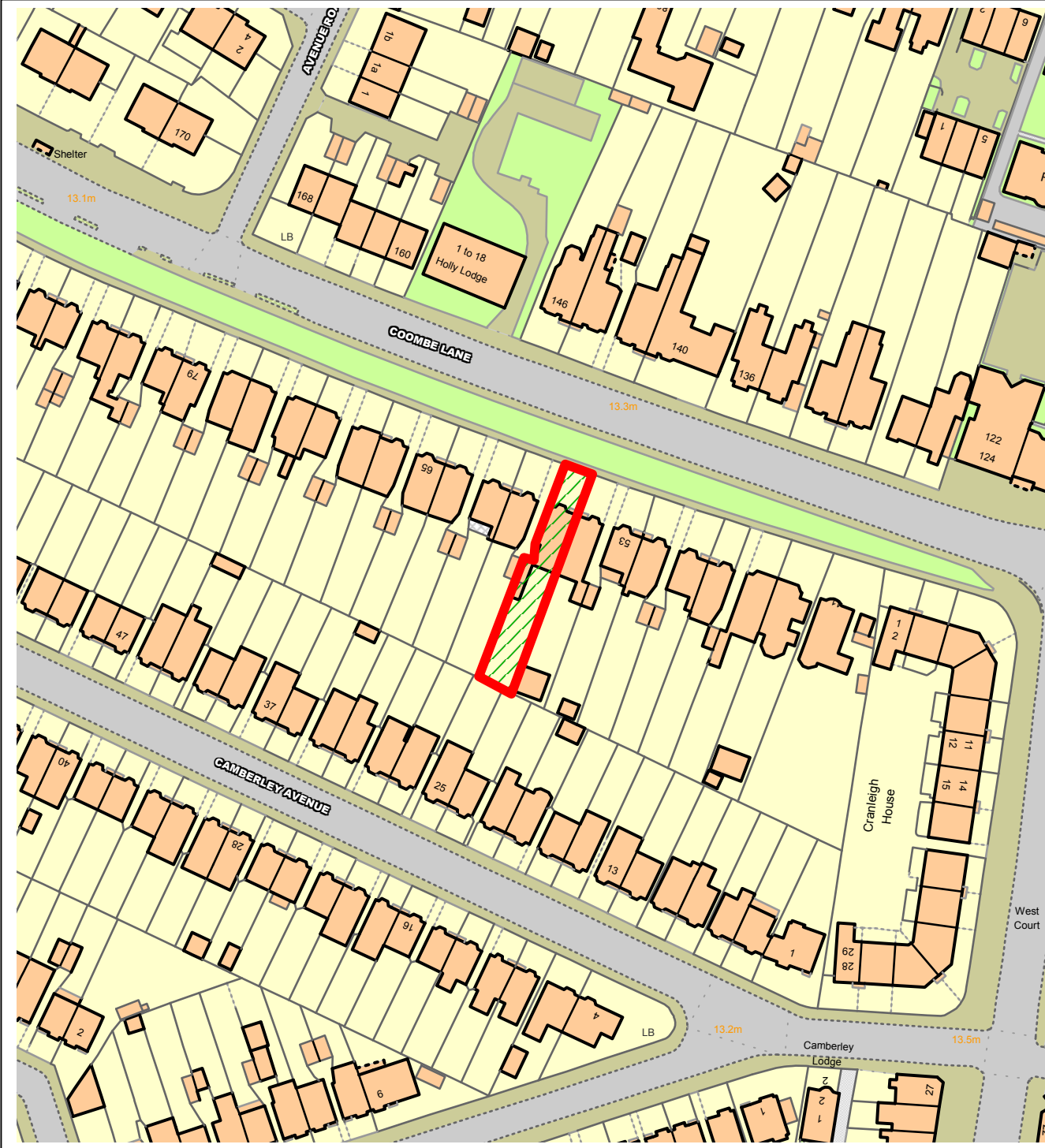
GRANT PERMISSION SUBJECT TO CONDITIONS

1. A1 commencement of works
2. A7 Built to plans Site location plan and drawings 1312-PL02-201 Rev A, 1312-PL02-202 Rev A, 1312-PL02-203 Rev B, 1312-PL02-204 Rev B, 1312-PL02-205 Rev A & 1312-PL02-206 Rev C,
3. B2 Matching materials
4. C8 No use of flat roof
5. D 11 Hours of construction

Shared access informative.

The granting of planning permission for this development does not confer or imply to confer a right to build on land in shared or communal ownership. The applicant is advised to secure any necessary consents over and above planning permission and approval under the Building Regulations in order to build on the shared access way leading to the rear of the site.

NORTHGATE SE GIS Print Template



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H. M. LAND REGISTRY GENERAL MAP

SURREY

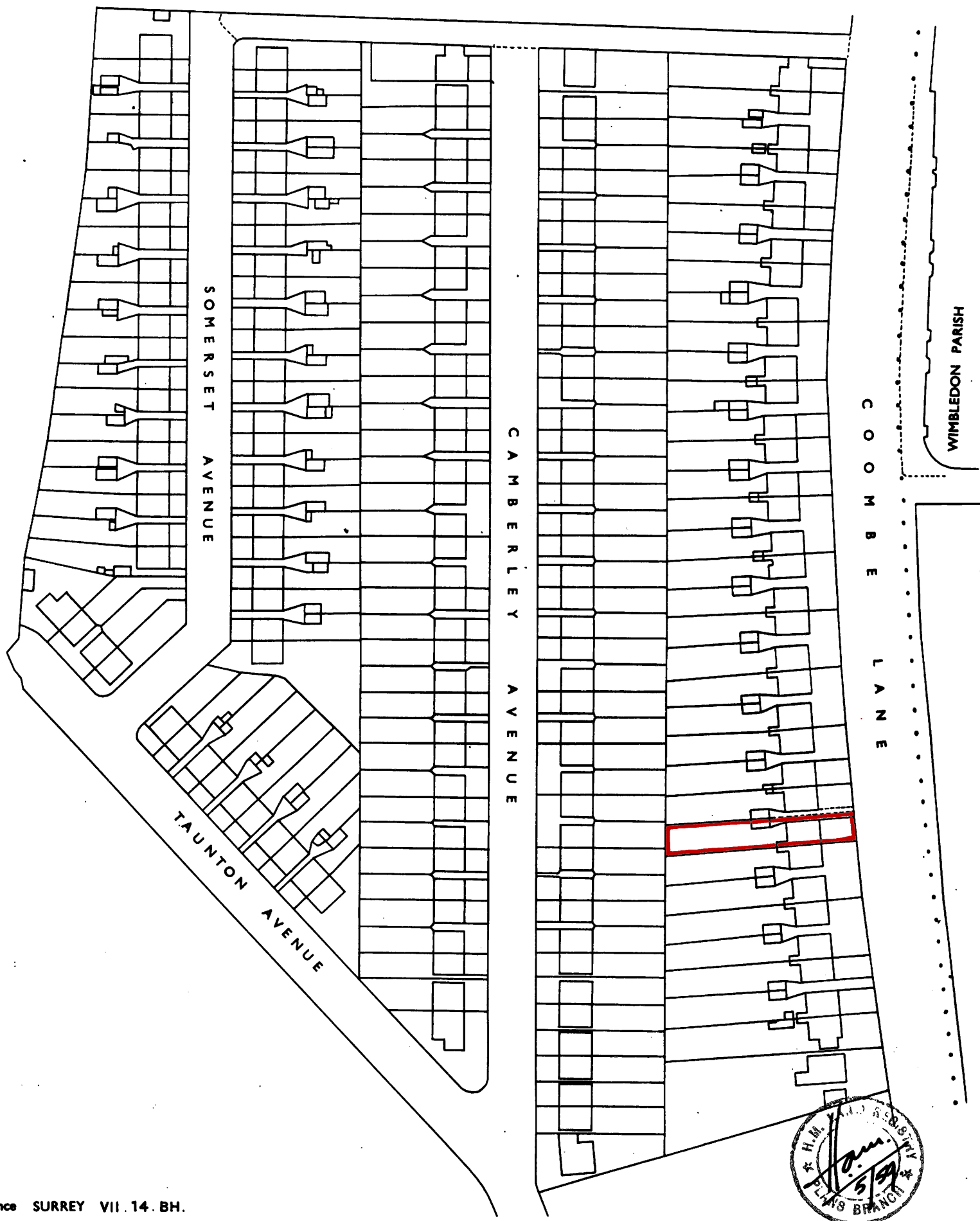
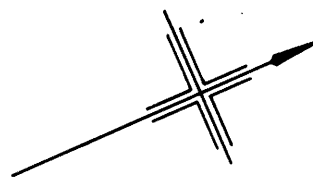
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SECTION P

(NATIONAL GRID)

Scale 1/1250

MERTON PARISH



Old reference SURREY VII. 14. BH.

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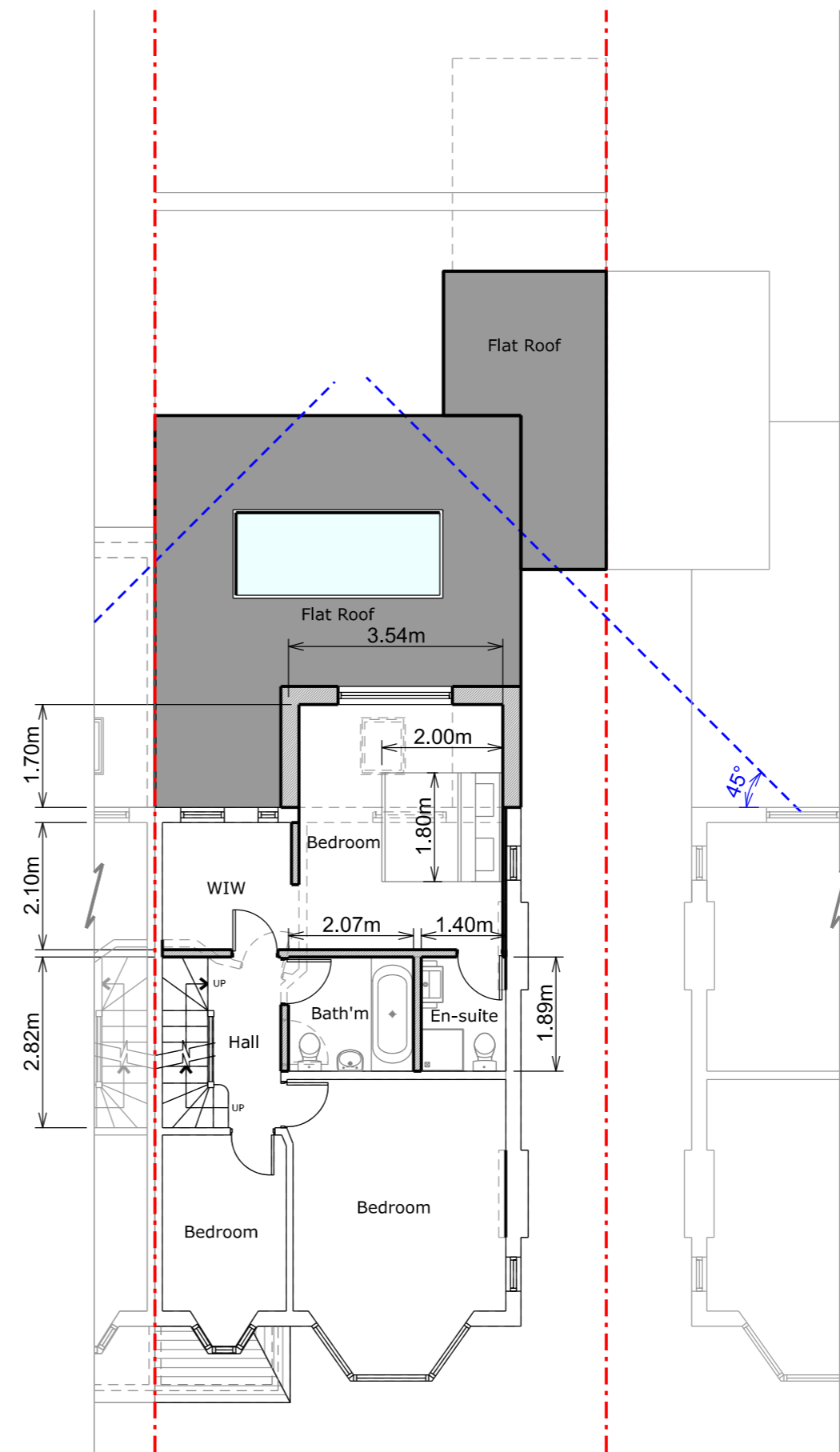
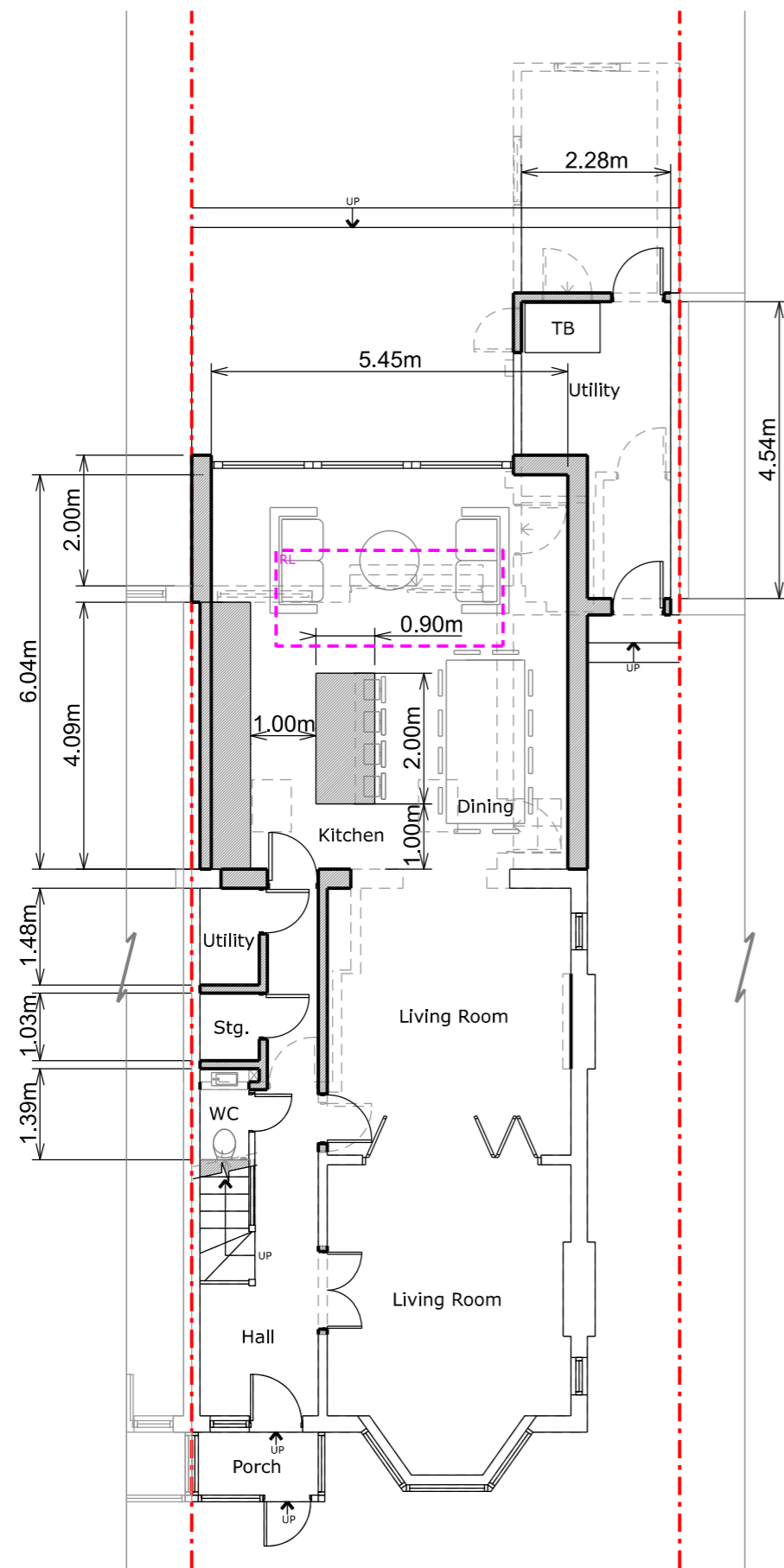
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NOTES

REV:	Rev	Rev Note	Date
-	A	Planning Issue	11/03/2020
		Planning Revision	29/11/2020

KEYS

- Boundary line
- Proposed walls
- Existing walls
- Existing removed
- Rooflight



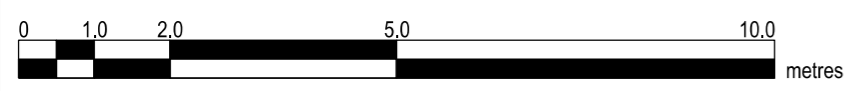
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PROPOSED GROUND AND FIRST FLOOR REAR EXTENSION, GARDEN ANNEX AND ALL ASSOCIATED WORKS AT 57 COOMBE LANE

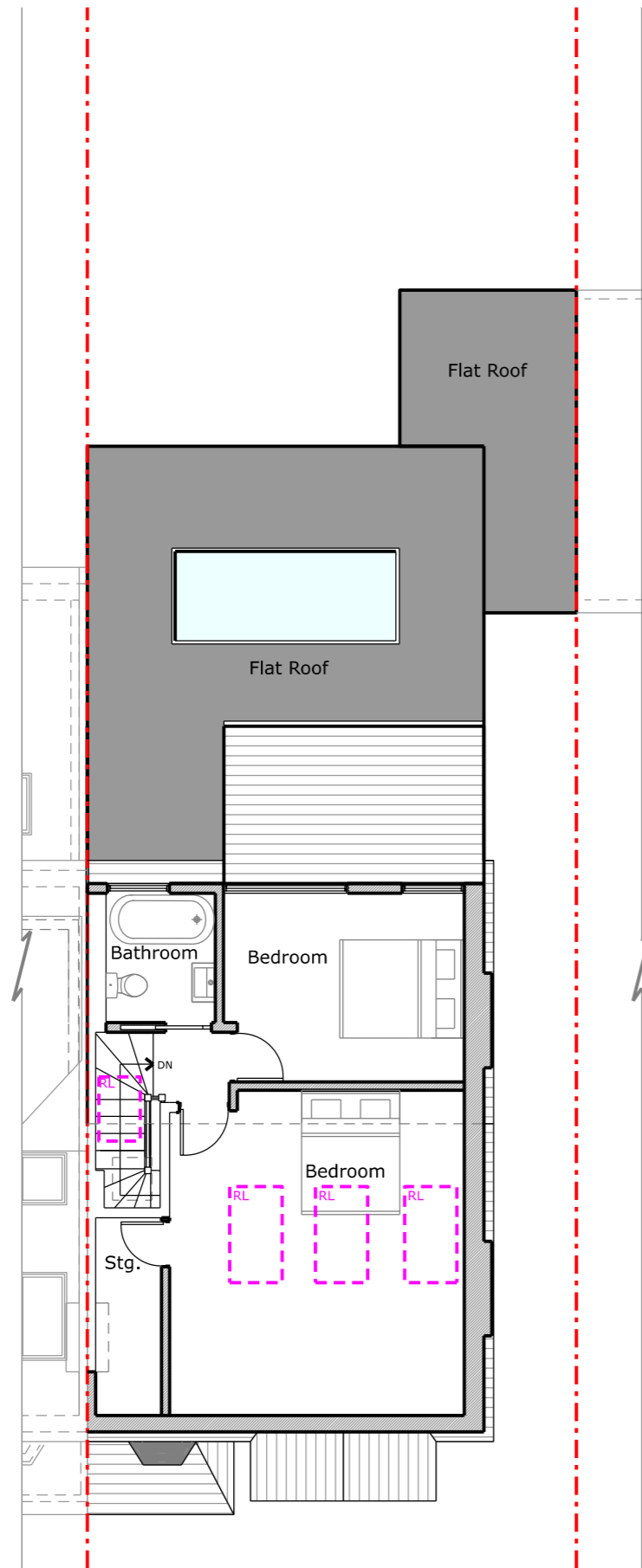
STATUS
PLANNING

CLIENT
LEON MEDIAVILLA

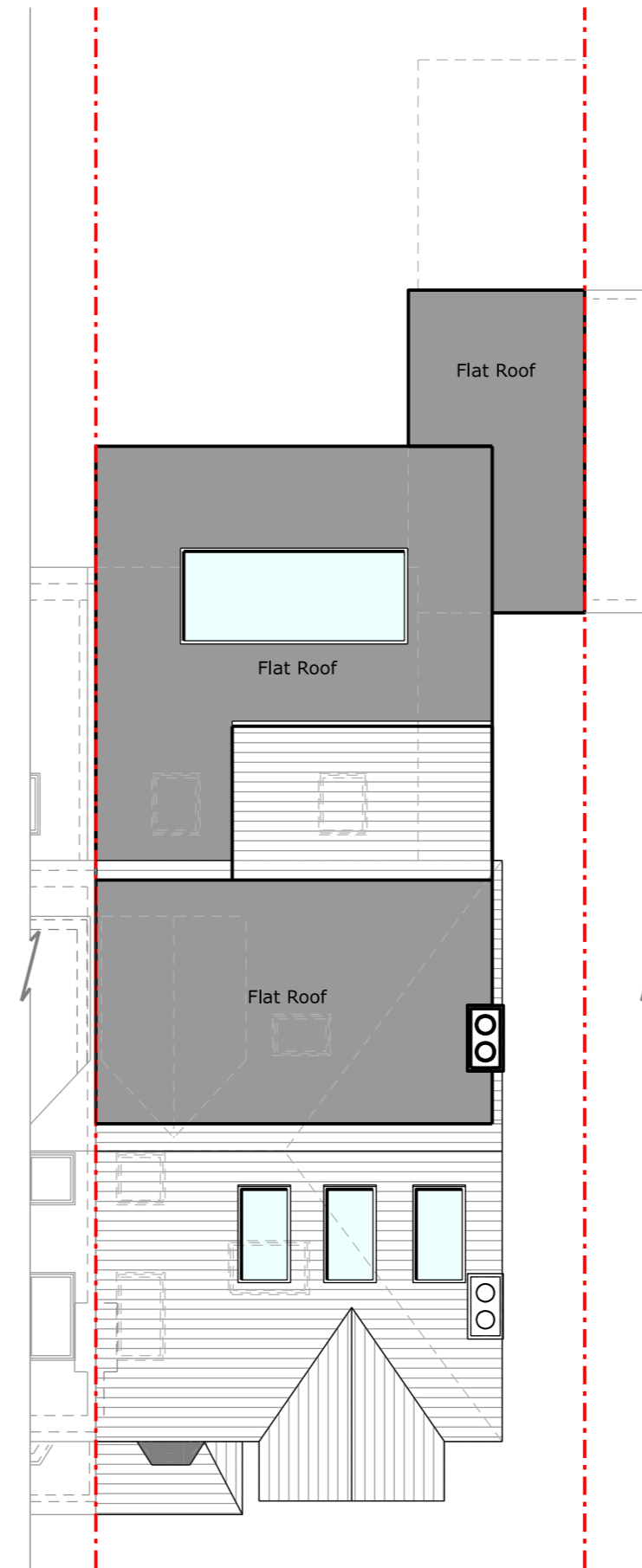
DRAWING TITLE
PROPOSED FLOOR PLANS

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DATE	MARCH 2020	CHECKED	AO
DRAWING NO.	1312 - PL02 - 201	REV.	A

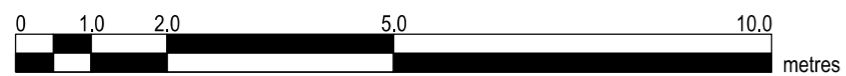




Loft Plan



Roof Plan



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NOTES

REV:	Rev	Rev Note	Date
-		Planning Issue	11/03/2020
A		Planning Revision	29/11/2020

KEYS

	Boundary line
	Proposed walls
	Existing walls
	Existing removed
	Rooflight



JOB TITLE
 PROPOSED GROUND AND FIRST FLOOR REAR EXTENSION, GARDEN ANNEX AND ALL ASSOCIATED WORKS AT 57 COOMBE LANE

STATUS
 PLANNING

CLIENT
 LEON MEDIAVILLA

DRAWING TITLE
 PROPOSED ROOF PLAN

SCALE	1/100 @ A3	DRAWN	CZ
DATE	MARCH 2020	CHECKED	AO
DRAWING NO.	1312 - PL02 - 202	REV.	A



Front Elevation



Rear Elevation

External thermal insulation with white painted render finish to existing and proposed facades

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Print to scale (as actual size)

NOTES

PROPOSED MATERIALS:

Brickwork / Walls - External thermal insulation with white painted render finish to existing and proposed facades

Pitched Roof - Concrete tiles to match the existing

Flat Roof - Fibreglass

Windows - uPVC/Aluminium casement windows

Doors - White uPVC single and uPVC/Aluminium bi-folding doors

RWP / Gutters / Fascia - Black uPVC downpipes, hoppers, box gutters and aluminium dressed fascias

REV:

Rev	Rev Note	Date
-	Planning Issue	11/03/2020
A	Planning Revision	04/05/2020
B	Planning Revision	29/11/2020

KEYS

- - - Boundary line
- Proposed walls
- Existing walls
- Existing removed
- Rooflight



JOB TITLE

PROPOSED GROUND AND FIRST FLOOR REAR EXTENSION, GARDEN ANNEX AND ALL ASSOCIATED WORKS AT 57 COOMBE LANE

STATUS

PLANNING

CLIENT

LEON MEDIAVILLA

DRAWING TITLE

PROPOSED ELEVATIONS

SCALE 1/100 @ A3

DRAWN CZ

DATE MARCH 2020

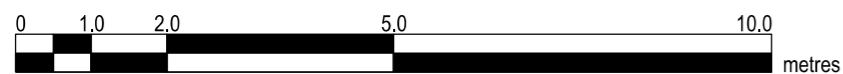
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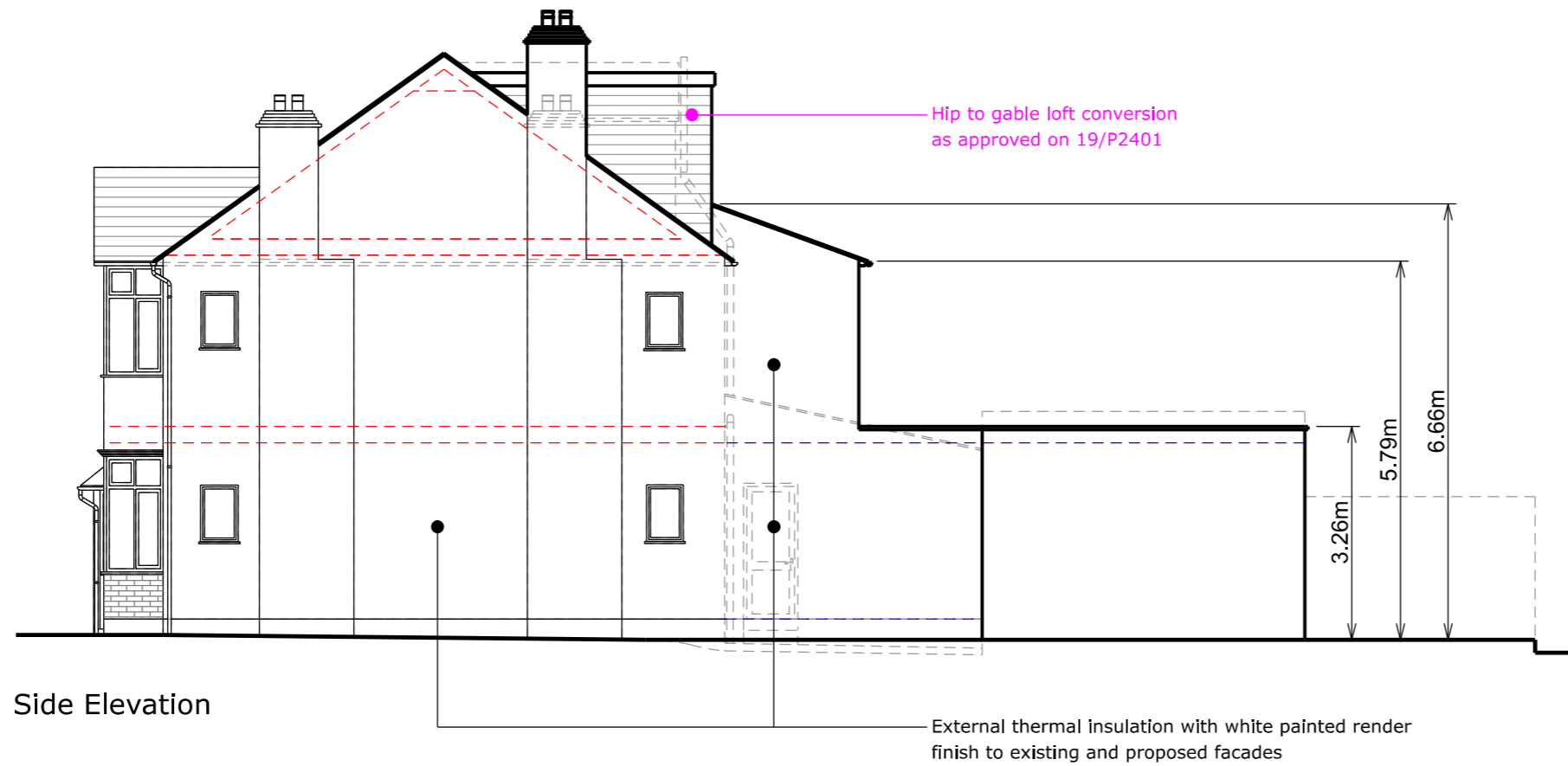
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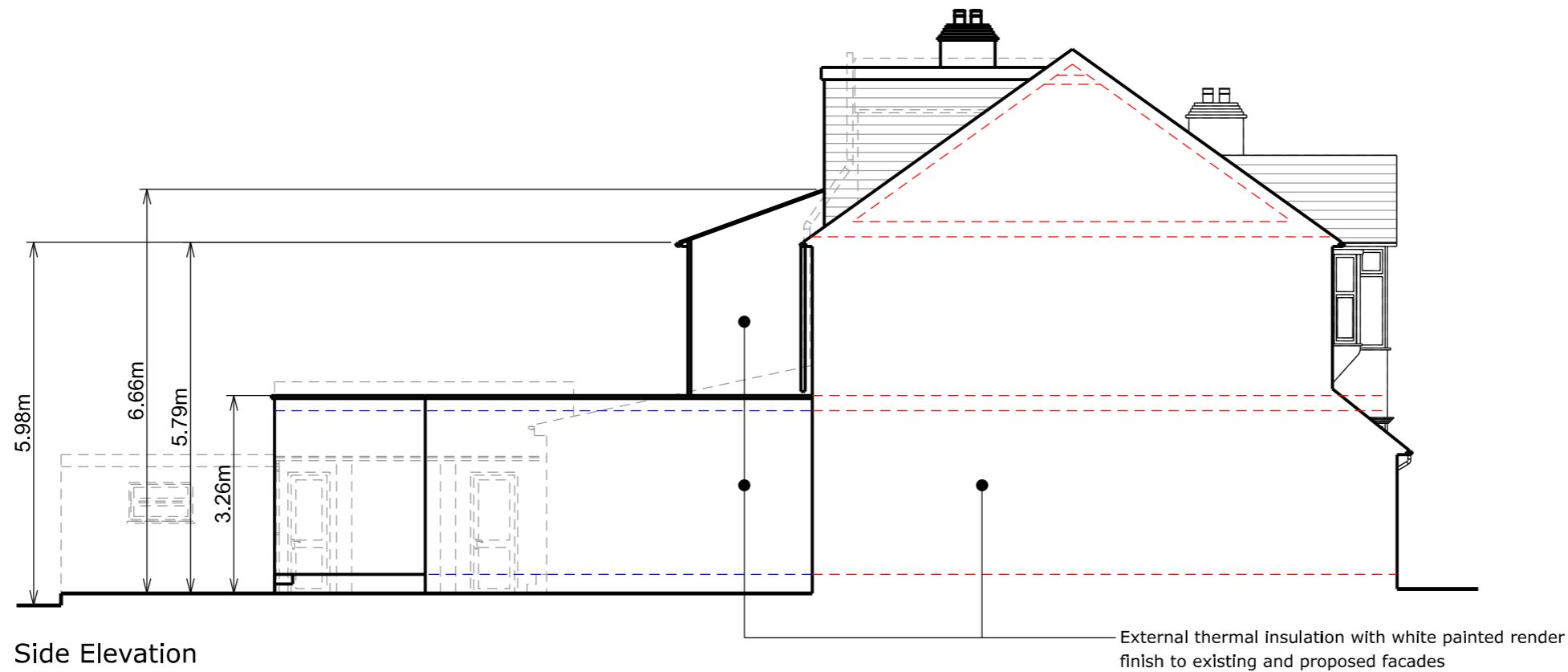
REV.

B

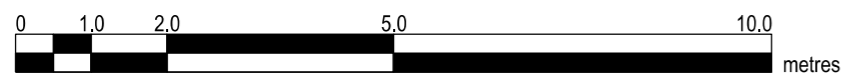




Side Elevation



Side Elevation



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Print to scale (as actual size)

- NOTES
- PROPOSED MATERIALS:**
- Brickwork / Walls - External thermal insulation with white painted render finish to existing and proposed facades
 - Pitched Roof - Concrete tiles to match the existing
 - Flat Roof - Fibreglass
 - Windows - uPVC/Aluminium casement windows
 - Doors - White uPVC single and uPVC/Aluminium bi-folding doors
 - RWP / Gutters / Fascia - Black uPVC downpipes, hoppers, box gutters and aluminium dressed fascias

REV:		
Rev	Rev Note	Date
-	Planning Issue	11/03/2020
A	Planning Revision	04/05/2020
B	Planning Revision	29/11/2020

- KEYS
- - - Boundary line
 - Proposed walls
 - Existing walls
 - Existing removed
 - Rooflight



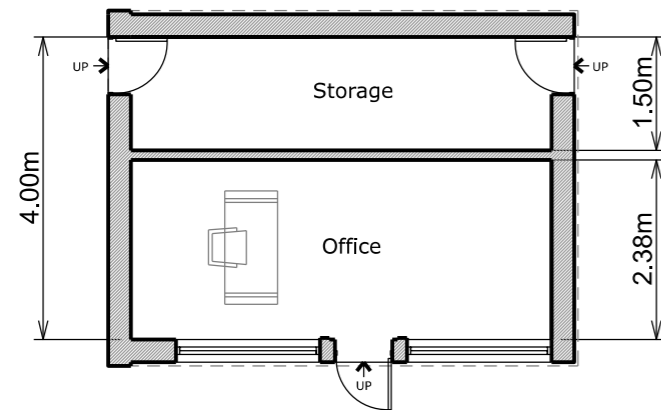
JOB TITLE
PROPOSED GROUND AND FIRST FLOOR REAR EXTENSION, GARDEN ANNEX AND ALL ASSOCIATED WORKS AT 57 COOMBE LANE

STATUS
PLANNING

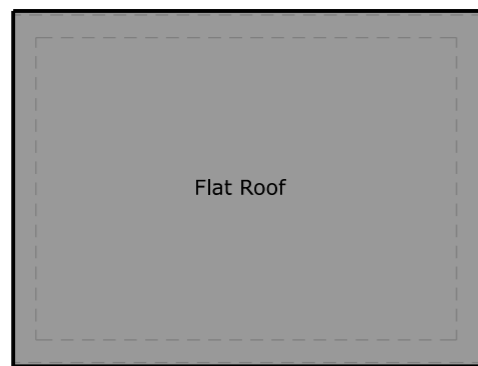
CLIENT
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DRAWING TITLE
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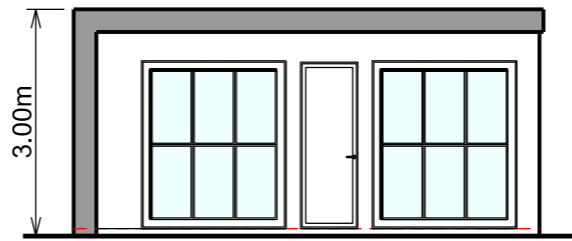
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DRAWING NO. 1312 - PL02 - 204	REV. B



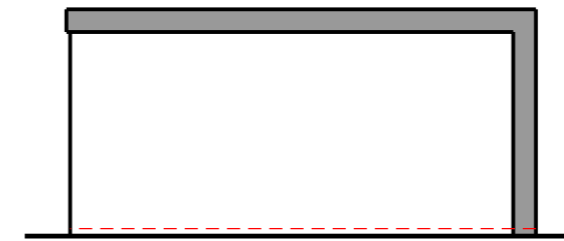
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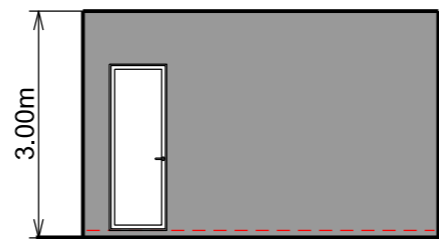
Roof Plan



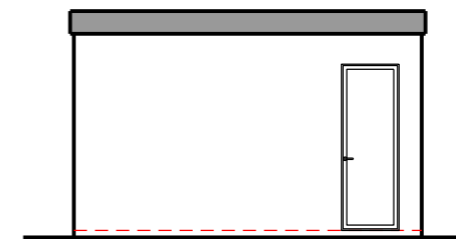
Front Elevation



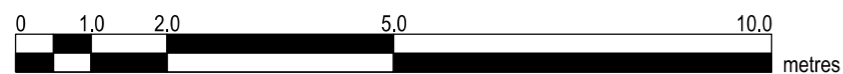
Rear Elevation



Side Elevation



Side Elevation



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 All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.
 Print to scale (as actual size)

NOTES
PROPOSED MATERIALS:
 Brickwork / Walls - White rendered walls and Zinc cladding
 Flat Roofs - Fibreglass
 Windows - Aluminium casement windows
 Doors - White painted timber single door
 RWP / Gutters / Fascia - Black uPVC downpipes, hoppers, box gutters and aluminium dressed fascias

Rev	Rev Note	Date
-	Planning Issue	11/03/2020
A	Planning Revision	29/11/2020

KEYS

- Boundary line
- Proposed walls
- Existing walls
- Existing removed
- Rooflight



JOB TITLE
 PROPOSED GROUND AND FIRST FLOOR REAR EXTENSION, GARDEN ANNEX AND ALL ASSOCIATED WORKS AT 57 COOMBE LANE

STATUS
 PLANNING

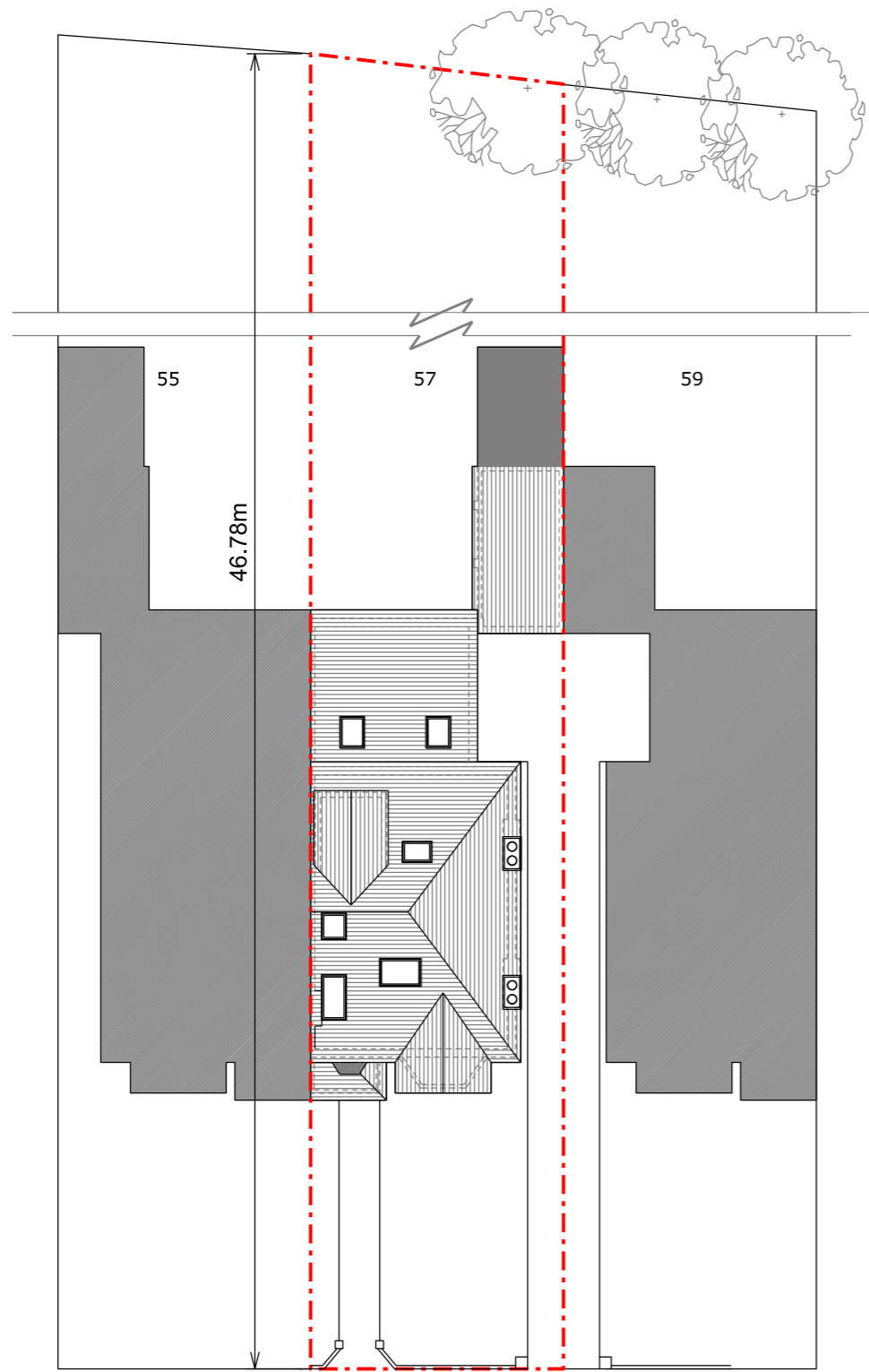
CLIENT
 LEON MEDIAVILLA

DRAWING TITLE
 PROPOSED ANNEX

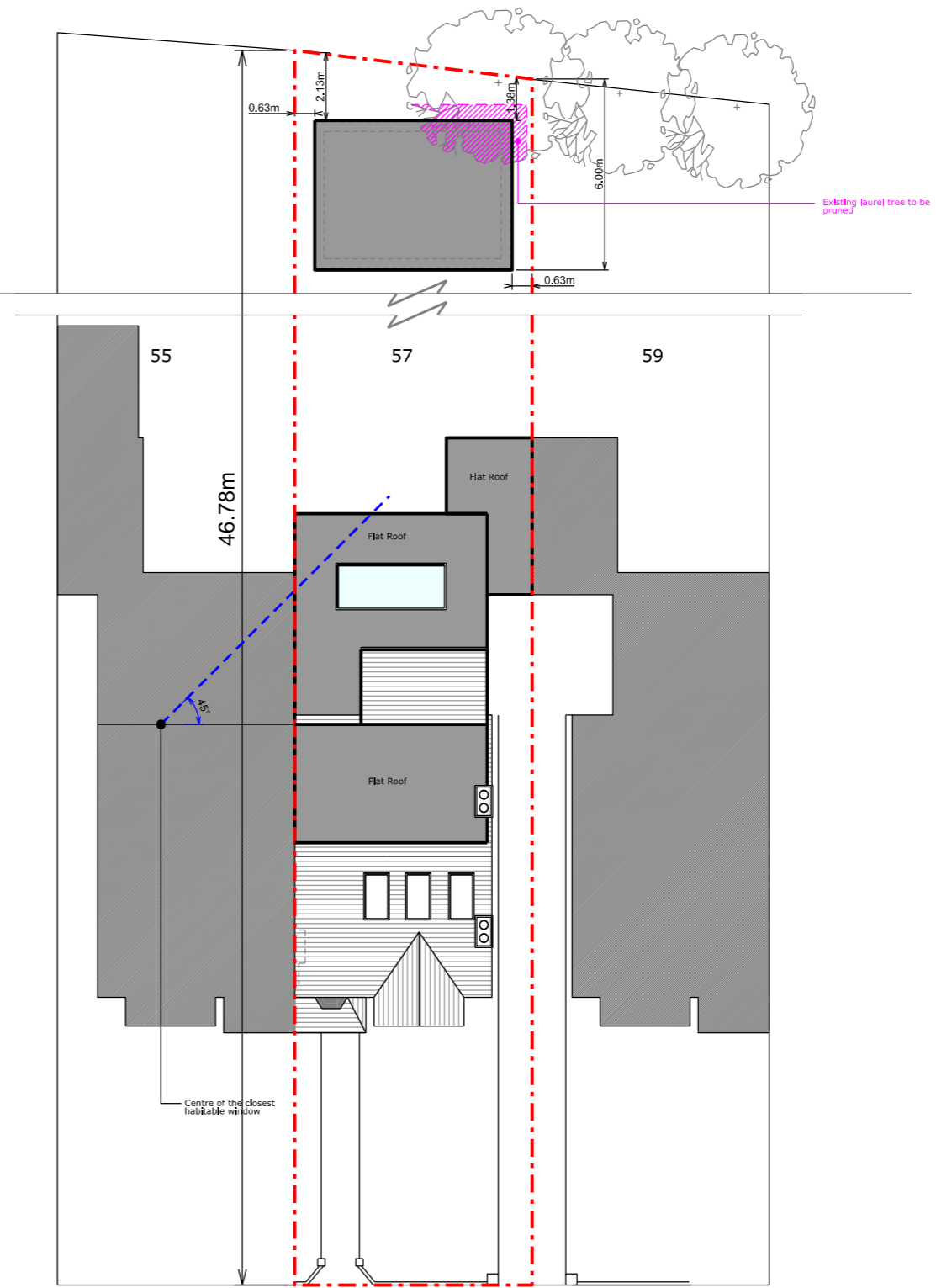
SCALE 1/100 @ A3 DRAWN CZ

DATE MARCH 2020 CHECKED AO

DRAWING NO. 1312 - PL02 - 205 REV. A



Existing Block Plan



Proposed Block Plan

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Print to scale (as actual size)

NOTES

REV:	Rev	Rev Note	Date
-		Planning Issue	11/03/2020
A		Planning Revision	04/05/2020
B		Planning Revision	16/06/2020
C		Planning Revision	29/11/2020

- - - Boundary line
- Proposed walls
- Existing walls
- Existing removed
- Rooflight



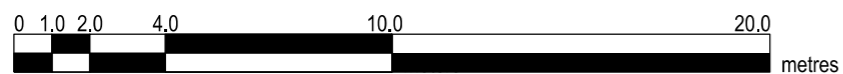
JOB TITLE
PROPOSED GROUND AND FIRST FLOOR REAR EXTENSION, GARDEN ANNEX AND ALL ASSOCIATED WORKS AT 57 COOMBE LANE

STATUS
PLANNING

CLIENT
LEON MEDIAVILLA

DRAWING TITLE
BLOCK PLANS

SCALE 1/200 @ A3	DRAWN CZ
DATE MARCH 2020	CHECKED AO
DRAWING NO. 1312 - PL02 - 206	REV. C



PLANNING APPLICATIONS COMMITTEE

29th April 2021

<u>UPRN</u>	<u>APPLICATION NO.</u>	<u>Item No:</u> <u>DATE VALID</u>
	19/P4183	21/11/2019

Address/Site Dundonald Recreation Ground, Dundonald Road, Wimbledon SW19 3QH

(Ward) Dundonald

Proposal: ERECTION OF A TEMPORARY BUILDING TO PROVIDE COMMUNITY SPACE, TENNIS CLUB AND CAFE AND ERECTION OF SEPARATE TEMPORARY TOILET FACILITIES.

Drawing Nos 18013-0090, 18013-0100, 18013-0101 Rev 1, 18013-0102 Rev 1, 18013-0103 Rev 1, 18013-0104 Rev 1, 18013-0105 Rev 1.

Contact Officer: Tim Bryson (020 8545 3981)

RECOMMENDATION

REFUSE Permission

CHECKLIST INFORMATION

- Heads of agreement: No
- Is a screening opinion required: No
- Is an Environmental Impact Statement required: No
- Has an Environmental Impact Assessment been submitted: No
- Press notice- Yes
- Site notice-Yes
- Design Review Panel consulted- No
- Number neighbours consulted – 61
- External consultants: None
- Controlled Parking Zone: Yes
- Conservation Area: No

1. INTRODUCTION

- 1.1 This application has been brought to the Planning Applications Committee at the request of Councillor Anthony Fairclough due to the level of public interest in the proposal both for and against it.

2. SITE AND SURROUNDINGS

- 2.1 The application site comprises the Dundonald Recreation Ground. The Rec Ground comprises open fields, tennis courts, children's play area, pavilion building and associated footpaths and landscaped areas. The site surroundings comprises largely residential properties along with the Dundonald Primary School. The site does not lie within a Conservation Area and the site is designated Open Space within the Local Plan.

3. CURRENT PROPOSAL

- 3.1 The current proposal involves the erection of temporary buildings to provide accommodation for community use, including tennis club and associated café, and toilet facilities.
- 3.2 The proposal includes 2 buildings (one for community use, tennis club and café and one for toilet facilities). The location of the proposed buildings would be adjacent to the eastern elevation of the adjacent Primary School, within the Rose Garden area of the recreation ground. This area of the recreation ground fronts Dundonald Road and is in the north-eastern part.
- 3.3 Both buildings would be single storey with a flat roof and be timber clad with aluminium windows and doors. Both buildings would have a maximum height of 3.6 m. A new pedestrian access would be proposed from Dundonald Road. It is proposed for the buildings to be sited for a temporary 5 – 7 year period.

4. PLANNING HISTORY

- 4.1 None in relation to the site, but various planning applications for the adjacent Primary School. Notable:

17/P2742 - RETENTION OF EXISTING SECURE STORAGE UNIT AGAINST BOUNDARY WALL AND INSTALLATION OF NEW EMERGENCY LIGHTING TO PERIMETER – Granted 08/11/2017.

12/P1058 - EXPANSION AND REFURBISHMENT OF DUNDONALD PRIMARY SCHOOL COMPRISING REFURBISHMENT OF EXISTING MAIN SCHOOL BUILDING, ERECTION OF PART FIRST FLOOR/PART TWO STOREY EXTENSION TO EXISTING DETACHED REAR ANNEXE BUILDING (TO BE PARTLY SITED ON DUNDONALD RECREATION GROUND) AND CONTAINING THREE NEW CLASSROOMS, NEW MAIN HALL, NEW STUDIO, KITCHEN, LIBRARY, TOILETS AND ASSOCIATED STORES IN ADDITION TO NEW PUBLIC CHANGING ROOM FACILITIES, TOILETS, PAVILION HALL, KITCHEN AND ASSOCIATED STORAGE, AND PROPOSED WORKS TO DUNDONALD RECREATION GROUND

COMPRISING OF DEMOLITION OF EXISTING PAVILLION AND SHED BUILDINGS, LOSS OF EXISTING BOWLING GREEN, CREATION OF NEW MULTI-USE GAMES AREA (MUGA), NEW TENNIS COURTS, NEW CHILDRENS' PUBLIC PLAYGROUND, OUTDOOR GYM, NATURE GARDEN AND NEW ASSOCIATED FOOTPATHS, PLANTING, AND SEATING. – Granted 28/11/2013.

5. **CONSULTATION**

5.1 The application has been advertised by Conservation Area site and press notice procedure and letters of notification to neighbouring properties. In response 15 letters of objection have been received and 29 letters of support have been received. The grounds of objection are set out below: -

- Loss of trees;
- Harm the peacefulness of the area;
- Unnecessary as there are changing and toilet facilities in the existing pavilion;
- Both the existing community building and the school hall can be hired by the public;
- Rose Garden is a unique area and is also a holocaust memorial;
- Park shouldn't be made smaller for the benefit of the tennis club;
- School expanded and provided the new pavilion for community use;
- No need for such large buildings.

The points raised in support are as follows:

- Benefit to the tennis club;
- Toilets are in need;
- Benefit to the wider community;
- Similar café building in South Park Gardens has been a great success;
- Will provide a shelter for tennis club in the rain;
- Would be good in winter months;
- Visually good design and impact would be low;
- Could be used by the wider community for other uses;
- Would benefit the Friends group and provide a meeting point;
- Need for a café in the park;
- Location in the Rose Garden is ideal as it is between the school and the children's playground;

Surrey Tennis:

Surrey Tennis supports the planning application from Dundonald Rec Tennis Club to erect a building to provide shelter and café facilities along with toilet facilities as we believe that these facilities have the potential to increase usage of the tennis facilities at the Recreation Ground. Tennis is a great outdoor activity for the whole family, providing numerous health benefits, both physical and mental as well as social benefits. Park site facilities involving the local community is important in removing the perception that tennis is an expensive sport to play and a great way to build community pride for their park. By providing indoor and toilet facilities, it would be possible to extend the

tennis offering at Dundonald Rec to include LTA and Surrey Tennis supported initiatives such as Open Days, Qourn Family Cup, other competitions and tournaments, Surrey Leagues, etc. all of which require a longer stay in the park, hence the need for shelter and toilet facilities.

5.3 Wimbledon Society

The Wimbledon Society wishes to offer the following comments on the above application.

Dundonald Recreation Ground is designated as a public open space in the Council's approved Local Plan and is one of the Council's 25 "Key Parks". (See Management Plan 2014). The Council's Local Plan Policy DM D1 and the Core Strategy Policy CS13 aim to protect designated open spaces from inappropriate development and maintain them as open rather than built spaces. The actual site for the buildings is in an attractive symmetrically arranged garden within the park. The proposed buildings appear to be haphazardly placed, and unrelated to the Rose Garden layout, which is a formally designed rectangular space. It is hard to see how they will not detract from the park.

The proposed buildings are placed over the root systems of several major trees and this is not normally regarded by the Council as being in any way desirable. The form of Application also requires that any works that affect trees should be explained, and this information is not yet provided. The application implies the provision of buildings for community use including a café. It is not clear how the public will access this 'community space'. Opening hours are not provided for the toilet or cafe, and cleaning arrangements for the toilets are not clear. All of which suggests that these amenities will not be available for public use at all. The comments from the tennis coach suggest that the key objectives for the pavilion are tennis e.g. storage of tennis equipment and shelter for tennis players in the event of rain. Little thought has been given to how the facility is to be used by other users of the park. If these matters have been considered they should be covered in the application.

It is also unclear why the existing facilities of the park are unsuitable for the group. There is perhaps some suggestion that the existing facilities are shared and therefore may be unsuitable for children. But this would apply equally to other sports being played by young people in the park. The buildings are said to be "temporary" but it is unclear how long this is intended to be. If there really is a need or problem how will this be dealt with when the temporary period is over?

As a Society we are in favour of improving the sports facilities in our town and much of the use of this park is for sport. We are also in favour of public toilets within our parks. However, we believe that the issues raised above should be addressed before the application is allowed to proceed.

5.4 Council's Tree and Landscape Officer

Should permission be granted then recommend suitable conditions for tree protection.

5.5 MET Police Secure By Design Officer

Having given due consideration to the details of the security and safety features from the information provided. I have a few concerns with the design and a few recommendations regarding security measures.

The proposed pavilion has limited natural surveillance from the houses and vets opposite as it is located within an established line of trees. Any trees in the perimeter should be lopped up to a minimum height of 2.2 metres and any shrubs and hedges should be maintained to 1m, thereby creating a clear field of vision into the park to allow natural surveillance. No structures or landscape features should compromise the existing boundary fencing by providing climbing over points such as the low hanging branches.

The configuration of the two buildings should be redesigned. The proposed design offers a secluded area to the rear of the kitchen which may be susceptible to anti-social behaviour. The door to the WCs is towards the rear of the block and should be relocated towards or in the front elevation.

The pavilion is proposed to be single storey with a flat roof, and should have measures to prevent access and dissuade climbing onto the low roof. Options including defensive planting of a high thorn content vegetation 1 metre in height and approximately 1 metre in depth to prevent approach to the building line; anti-climb paint applied to the flat roof with appropriate signs warning of its use displayed in clear view; and any moveable items such as chairs from the café spill out, or the large black wheelie refuse bins should be fixed to secure point away from the building line to prevent their use as climbing aids. Also the proposed green wall should not provide a climbing aid. The flat roof design should be constructed with materials resistant to intrusion either by cutting through the deck or forcing open roof lights or other openings. If a lightweight roofing system is proposed it must be certificated to LPS1175 B3 or STS 202 BR2 or if a traditional roofing system expanded metal should be included to address criminal penetration via the roof. There is no mention of 'out of hours' protection to the buildings.

The appropriate Secured by Design (SBD) requirements can be found in the design guides on the SBD web site (www.SecuredbyDesign.com)

5.6 Council's Greenspaces Manager

The applicant does not currently have the approval of the landlord to proceed with this proposed development.

Dundonald Recreation Ground has already (and recently) been subject to substantial and significant development in order to accommodate the neighbouring school expansion which not only took into account the students' needs but the park user's needs too. The addition of more structures (temporary or otherwise) will simply add to the over development of what is a relatively small yet popular green space.

The proposed area for the structures are in the Rose Garden which is a quiet, tranquil area with attractive horticultural and structural features, the introduction of building structures will prove to be detrimental to the current use of the area and will detract greatly from its current use.

The existing newly built building was developed to encompass user needs. It already contains good indoor space and has a modern changing facilities and a community room. Furthermore at present, this building is under-utilised.

We as the land owner, strongly and firmly object to any further development of this site.

5.7 Council's Planning Policy Officer:

Biodiversity

The site is designated as open space and appears to have a number of trees and other greenery on site. I can't see from the information submitted whether any trees or vegetation are proposed to be removed. The applicant will need to demonstrate that the application will not have any adverse effects on trees, protected or priority species or habitats (CS13 and DM02).

Open Space and Playing Pitch Strategy (PPS) 2019

The site is designated as Open Space on the Sites and Policies Map 2014 and the proposal would therefore need to meet the policies of CS13 and DM01.

The revised and adopted PPS is available on the council's website [here](#). The PPS mentions the Dundonald Recreation Ground tennis courts as requiring resurfacing, but does not identify any issues with the ancillary facilities. The PPS should be reviewed as part of this application, as it provides an up to date assessment of playing pitch sites and needs throughout the borough.

Social & Community Use

I don't know the details specifically, but my understanding is that there is a Community Use Agreement on the school storage / community centre / toilets to allow these to be utilised for the tennis courts. It seems that this application is proposing to build two more structures that will have the same use as those buildings on the school grounds that should be available for wider community use and I would question the need for additional buildings given that this is a designated open space site.

Page 4 of the D&A statement states that the location of the proposed toilets is the same location as a previous block in 1953, however the two maps show different locations.

As an additional point, the proposed development description is for temporary structures, however I can't see any information submitted that indicates how long these would be in use, or why they are proposed to be temporary. A green wall is proposed on the structures, which suggests that it would not be temporary.

6. POLICY CONTEXT

6.1 Sites and Policies Plan and Policies Map (July 2014)

DM O1	Open Space
DM O2	Nature Conservation, Trees, hedges and landscape features
DM D1	Urban design and the public realm
DM D2	Design considerations in all developments
DM D4	Managing heritage assets
DM T2	Transport impacts of development
DM T3	Car parking and servicing standards
DM R2	Development of town centre type uses outside of town centres.
DM C1	Community Facilities

6.2 Core Strategy (July 2011):

- CS11 Infrastructure
- CS12 Economic Development
- CS13 Open Space, nature conservation, leisure and culture
- CS14 Design
- CS20 Parking, Servicing and Delivery

6.3 London Plan (2021) policies:

- Policy D4 Delivering good design
- Policy D8 Public realm
- Policy S4 Play and informal recreation
- Policy S5 Sports and recreation facilities
- Policy G4 Open space
- Policy G1 Green infrastructure
- Policy G7 Trees and woodlands
- Policy T5 Cycling
- Policy T6 Car parking

6.4 NPPF (2019)

7. **PLANNING CONSIDERATIONS**

7.1 The main planning considerations concern the principle of development, design/visual impact and impact on Open Space, neighbour amenity, trees, highways and parking.

7.2 Principle of development

7.2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that when determining a planning application, regard is to be had to the development plan, and the determination shall be made in accordance with the development plan, unless material considerations indicate otherwise.

Policy CS13 of the Core Strategy 2011 seeks to protect and enhance the borough's public and private open space network including Metropolitan Open

Land, parks and other open spaces. Policy DM O1 of the Adopted Sites and Polices Plan (2014) seeks to protect and enhance open space and states that the Council will continue to protect Metropolitan Open Land (MOL) and designated open spaces from inappropriate development in accordance with London Plan and government guidance. Policy DM O1 (Open Space) is the relevant policy within the Council's Adopted Sites and Policy Plan concerning development proposals within designated open spaces.

Paragraph 'b' of the policy outlines that existing designated open space should not be built on unless: i) an assessment has been undertaken which has clearly shown the open space, buildings or land to be surplus to requirements; or ii) the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or iii) the development is for alternative sports and recreational provision, the needs for which clearly outweigh the loss. In considering the above, officers note that the proposal would provide temporary buildings for community use, including the tennis club. The application has outlined the benefits of such a facility for sport, such as all year round use. Further, the proposal is directly related to sport and outdoor recreational use. Officers consider that the proposal could be considered under iii) above, however, the key issue is whether there is an established need for the facility.

The Council's Greenspaces Manager has commented on the application and raised objection. The Greenspaces Manager outlines that sufficient facilities are in existence at the Rec Ground with the recent school expansion (planning permission 12/P1058) which provides a pavilion building which contains changing rooms and a hall for use by the community. Officers have reviewed the above permission and note that the floorplans show at ground floor level: changing rooms, shower facilities and toilet facilities, and at first floor level: 65sqm pavilion hall, kitchen, store and toilet facilities. The specific comments from the Greenspaces Manager outlines that this newly built facility caters for needs:

The existing newly built building was developed to encompass user needs. It already contains good indoor space and has a modern changing facilities and a community room. Furthermore at present, this building is under-utilised.

The proposal would provide toilet facilities and a community use building with kitchen facilities. These facilities are in existence already at the Rec Ground as part of the above planning permission. Further, the Council's Planning Policy Officer has outlined that the Open Space and Playing Pitch Strategy (PPS) 2019 identifies a need for tennis court resurfacing at the Rec Ground, but not for ancillary facilities.

Taking into account the consultation responses above, officers do not consider that there is an identified need for the proposal. The proposal is therefore considered to be in conflict with Policy DM O1 and Policy CS13

7.3 Design/visual impact and impact on Open Space

- 7.3.1 The National Planning Policy Framework (NPPF) states that planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings. The regional planning policy advice in relation to design is found in the London Plan (2021), in Policy D4.
- 7.3.2 Policy DM D2 seek to ensure a high quality of design in all development, which relates positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings and existing street patterns, historic context, urban layout and landscape features of the surrounding area. Policy DM D4 seeks to ensure that development adjacent to Conservation Areas either preserves or enhances the setting of the Conservation Area. Local Development Framework Policy CS14 supports these SPP Policies.
- 7.3.3 The proposed buildings would be single storey and would be sited adjacent to taller buildings at the Primary School. The buildings would be sited within the Rose Garden section of the Recreation Ground, in the north-west corner. The buildings would be single storey with a flat roof and would be of an ancillary building appearance, with use of timber cladding to elevations and various windows and door openings. The position of the larger building would be sited on the same building line as the adjacent school building. Taking into consideration the adjacent school buildings, the proposal would not cause visual harm to the streetscene of Dundonald Road, given its single storey design and scale.
- 7.3.4 The recreation ground has a formal layout of the rose garden with flower beds and footpaths running central within the space. The proposed buildings would be sited to the western side of the paths and flower beds, coming into very close proximity to this landscaping. This area of the recreation ground provides a tranquil area which is without sport and buildings. Informal grass areas provide natural sitting areas on hot sunny days and benches provide for additional use during colder months. The combination of the landscaping layout, trees and grass areas make up the distinct character of this part of the recreation ground. To the south lies the tennis courts and play area where noise and activity is present. These facilities are largely in parallel with each other and are separate from the rose garden to the north by footpaths. The proposal would provide buildings within the rose garden and are considered to disrupt the tranquil nature of the rose garden, which would bring activity and disturbance to this area of the recreation ground. The proposal acknowledges the trees on site and avoids removal of the trees, however, its position would take up valuable grass space which would be used in summer months particularly for enjoyment of the public. Officers therefore consider that the proposal would cause harm to the setting of the open space and would be a visually intrusive development to this part of the recreation ground.
- 7.3.6 Overall, the proposal would be sited in a position in the recreation ground which has a detrimental impact on the setting of the open space and public

enjoyment of it, causing visual harm to the rise garden part of the recreation ground. The proposal is therefore acceptable in terms of policies CS14 and DM D2, DM D3 and DM D4.

7.4 Neighbour Amenity

7.4.1 SPP policy DMD2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion and noise.

7.4.2 The proposed buildings are single storey in nature and are not immediately adjacent to any neighbouring residential occupiers. The closest residential occupiers are located opposite on the north side of Dundonald Road. Whilst the building would have some impact with the use of a new pedestrian link into the park and associated activity from the building, it would be on the opposite side of the road and of a suitable distance. The use and hours of use of the building could be reasonably controlled via planning conditions. Officers are therefore satisfied there would be no material impact on the amenities of neighbouring properties.

7.4.5 Overall, the proposal would not cause material harm to the surrounding amenities of neighbouring residential properties and is therefore considered to be acceptable in terms of policy DM D2 (Design Considerations in all Developments).

7.5 Sustainability

7.5.1 In light of the Government's statement and changes to the national planning framework it is advised that conditions would not be attached requiring full compliance with Level 4 of the Code for Sustainable Homes but would be attached so as to ensure that the dwellings are designed and constructed to achieve CO2 reduction standards and water consumption standards equivalent to Code for Sustainable Homes Level 4.

7.5.2 As per CS policy CS15, minor residential developments are required to achieve a 19% improvement on Part L of the Building Regulations 2013 and water consumption should not exceed 105 litres/person/day. Non-domestic development (office/commercial) under 500m², does not require assessment under CS Policy CS15. There are therefore no sustainability requirements required for the proposal. It should further be noted that the proposed buildings would be sited for a temporary period.

7.6 Highways and Parking

7.6.1 Development should not adversely affect safety on the transport network. Similarly Core Strategy policy CS20 requires that development would not

adversely affect pedestrian or cycle movements, safety, the convenience of local residents, on street parking or traffic management.

7.6.2 Core Strategy Policy CS 18 promotes active means of transport and the proposal includes on-site secure cycle parking for both the residential and office uses of the proposal.

7.6.3 The proposal would serve the public and community for use associated with the existing recreation ground (such as tennis). Given the location of the proposed building, officers consider that it could attract some additional vehicle movement to Dundonald Road as the on-street parking is closest to the proposed building. Officers note that the closest parking bay is a designated loading bay and that the other spaces on the road are pay and display. It is therefore unlikely that the proposal would lead to significant vehicle parking issues on the surrounding road. Other nearby residential roads are for permit holders only within the CPZ.

7.6.4 The proposal is therefore considered to be acceptable in terms of impact on highways and parking.

7.7 Trees

7.7.1 The applicant has submitted a Tree Report to provide an assessment of the impact of the proposal on the trees on site. The report concludes that small shrubs would have to be removed to accommodate the proposal, and the proposal would be within the root protection areas of two mature trees. It is outlined to accommodate this the proposed ground level of the buildings would be above ground level and the buildings would sit on piled foundations to minimise any impact. Subject to the strict measures to be incorporated in the design of foundations and construction, officers consider that appropriate conditions can be imposed in order to secure the long term health of the mature trees on site.

7.8 Local Financial Considerations

7.8.1 The proposed development would not be liable to pay the Merton and Mayoral Community Infrastructure Levy (CIL) as it is for temporary buildings.

7.9 Temporary permission

7.9.1 The application proposes a temporary planning permission for the two buildings for 5 – 7 years. Whilst this could be controlled via planning conditions, officers consider that the impacts assessed above would be enough to outweigh the temporary nature of the proposed buildings. Further, officers note that the buildings would have to be on foundations (as detailed in the applicants Tree Report) and thereby would be permanent in their appearance. The harm to the open space and the setting of the Rose Garden is considered to be significant, even for a temporary period.

8. **SUSTAINABILITY AND ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS**

8.1 The proposal does not constitute Schedule 1 or Schedule 2 development. Accordingly, there is no requirement for an EIA submission.

9. **CONCLUSION**

9.1 The proposal would be sited within the rose garden section of the recreation ground and is considered to cause harm to the open space, its setting and the visual impact on the rose garden in a negative way. It is not considered that the need for the proposal has been justified and is therefore in conflict with Open Space policies. Officers therefore recommend permission be refused.

RECOMMENDATION

REFUSE permission for the following reasons:

1. The proposed development, by virtue of its siting, scale and form would result in an erosion of the open character of the designated Open Space (Dundonald Recreation Ground) without demonstrating a requirement for its need, contrary to Policy DM O1 (Open Space) of the Adopted Merton Sites and Polices Plan (2014) and Policy CS13 (Open space, nature conservation, leisure and culture) of the Core Strategy 2011.
2. The proposed development, by virtue of its siting, scale, form and associated activity, would result in a detrimental impact on the setting of the rose garden part of the Dundonald Park Recreation Ground and would be visually intrusive to this part of the Recreation Ground. The proposal is therefore in conflict with Policy DM O1 (Open Space) and DM D2 (Design considerations in all developments) of the Adopted Merton Sites and Polices Plan (2014) and Policy CS13 (Open space, nature conservation, leisure and culture) of the Core Strategy 2011.

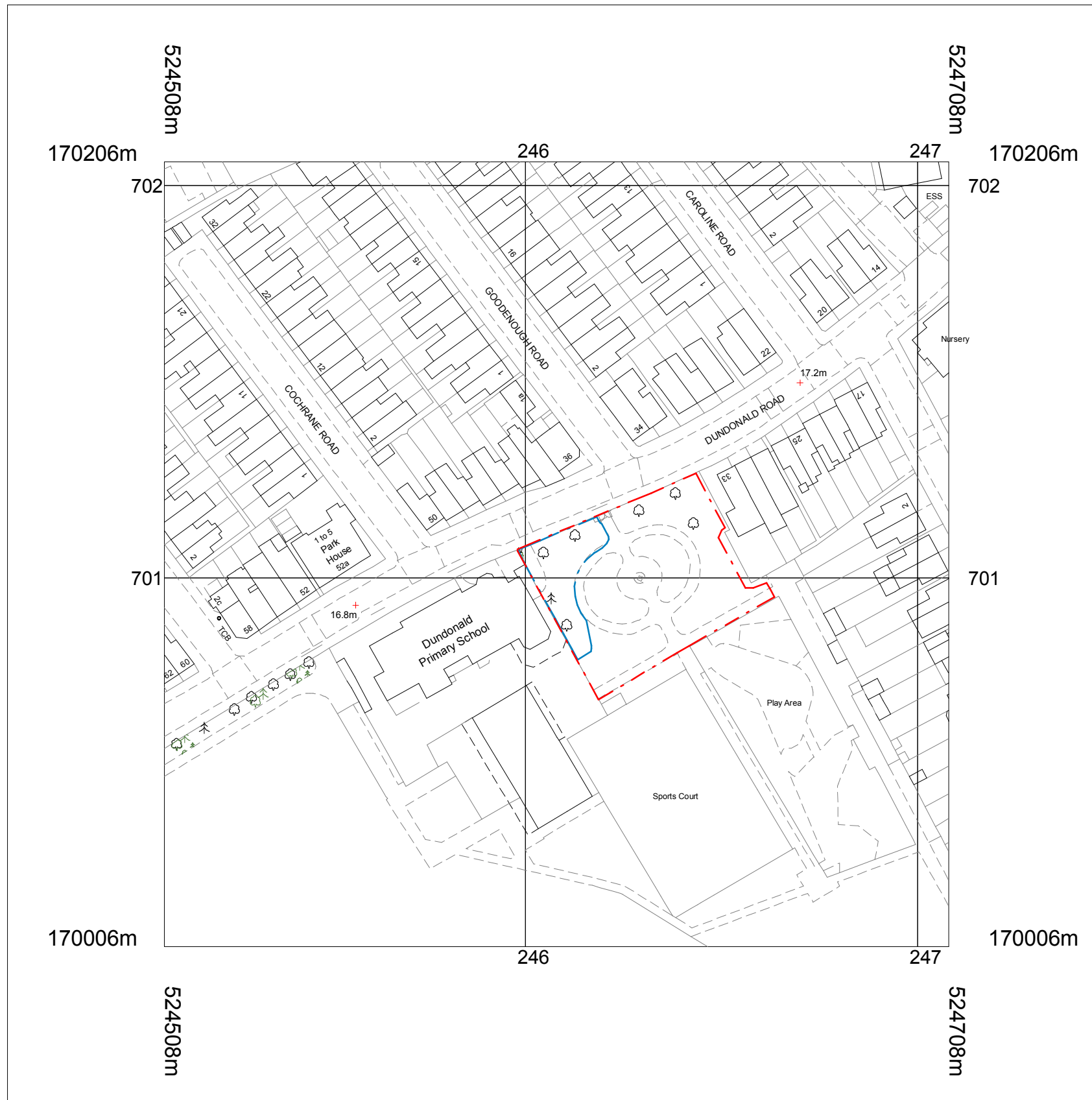
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NORTHGATE SE GIS Print Template



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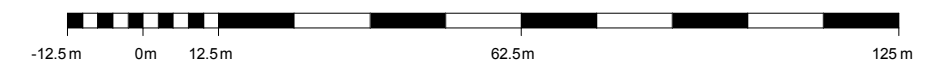


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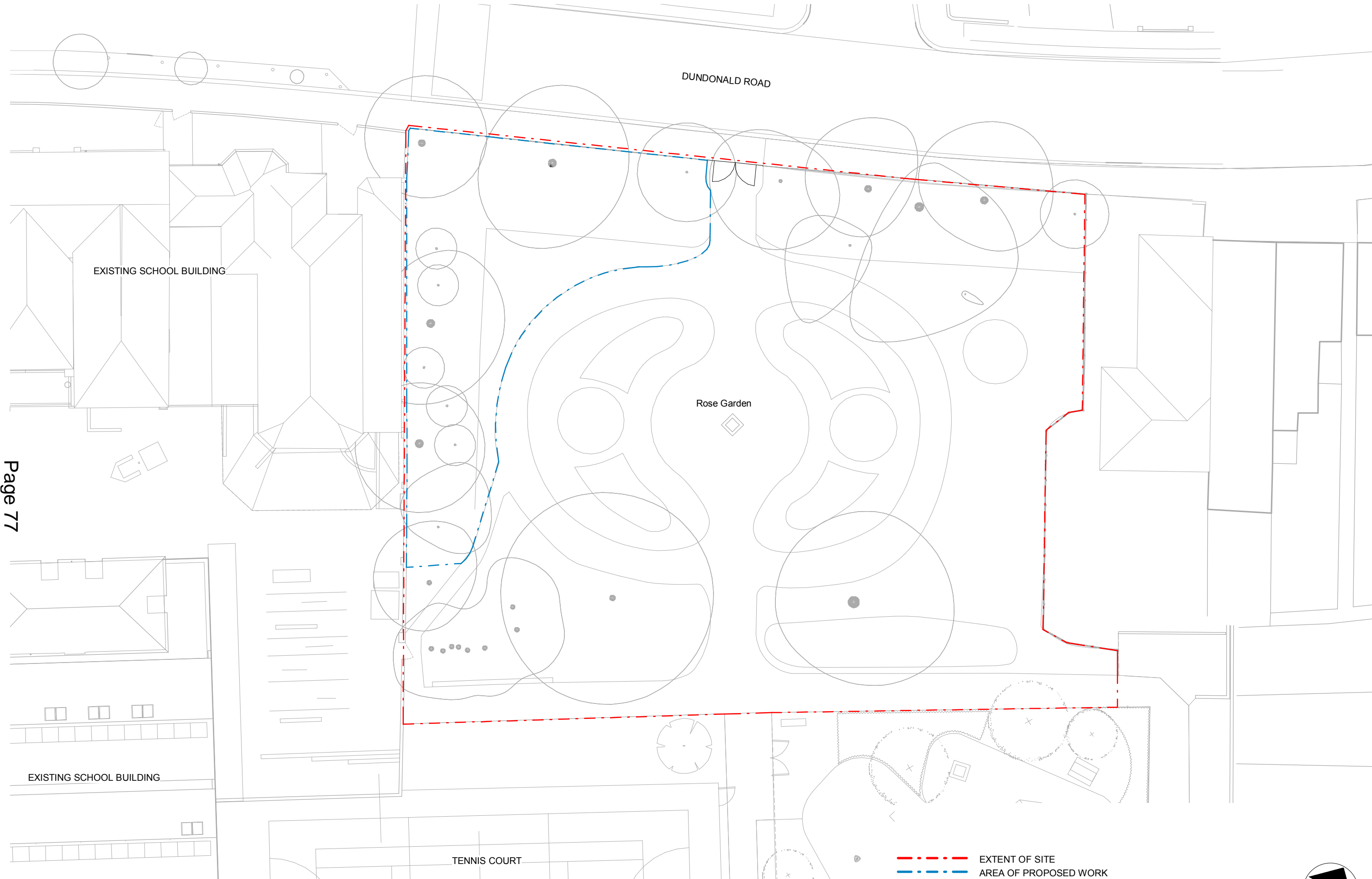
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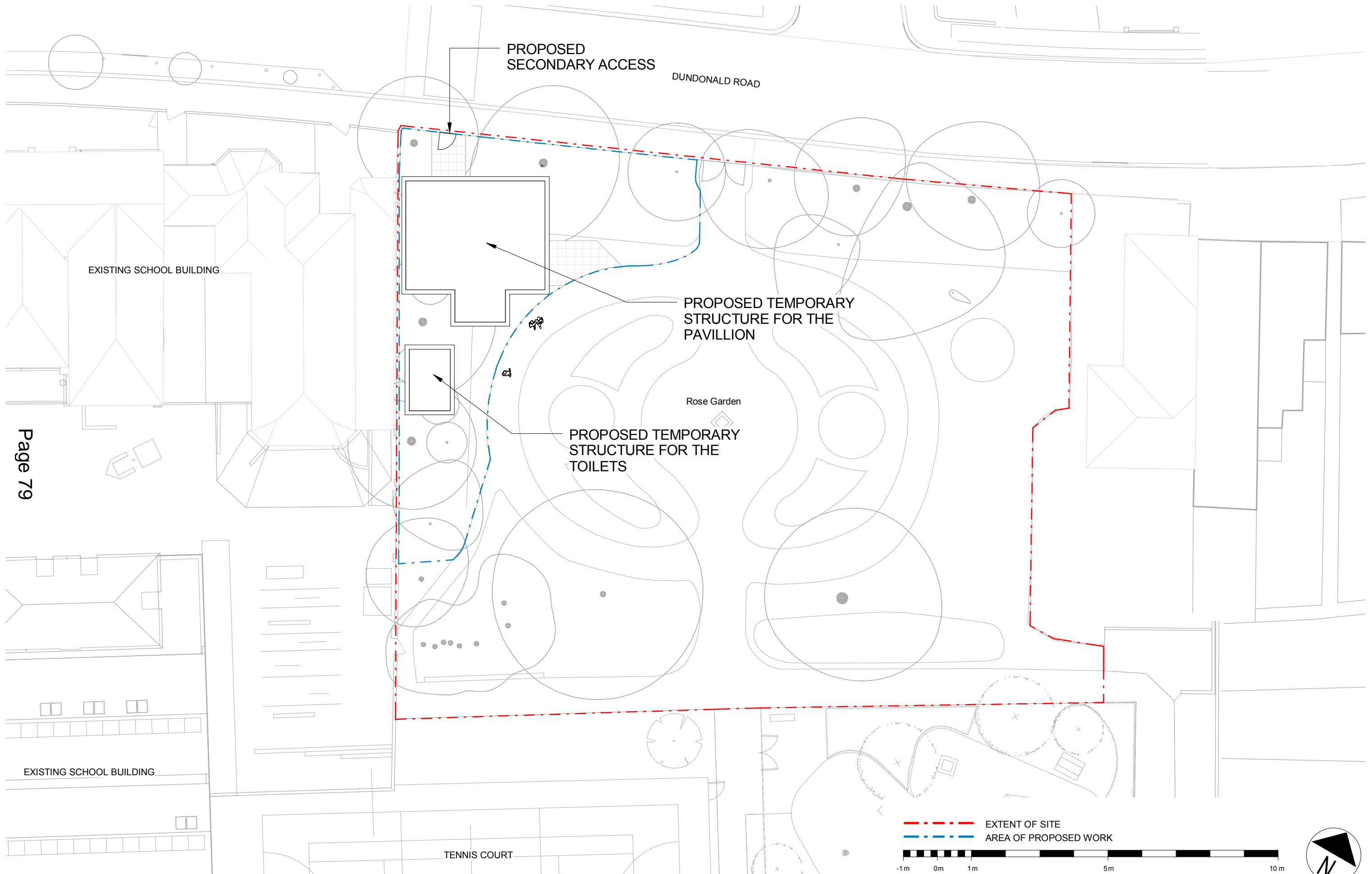
- - - EXTENT OF SITE
- - - AREA OF PROPOSED WORK



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EXISTING SCHOOL BUILDING

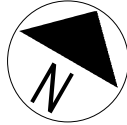
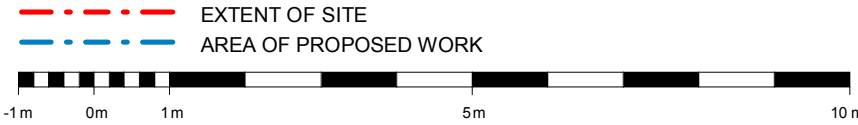
TENNIS COURT

PROPOSED SECONDARY ACCESS
DUNDONALD ROAD

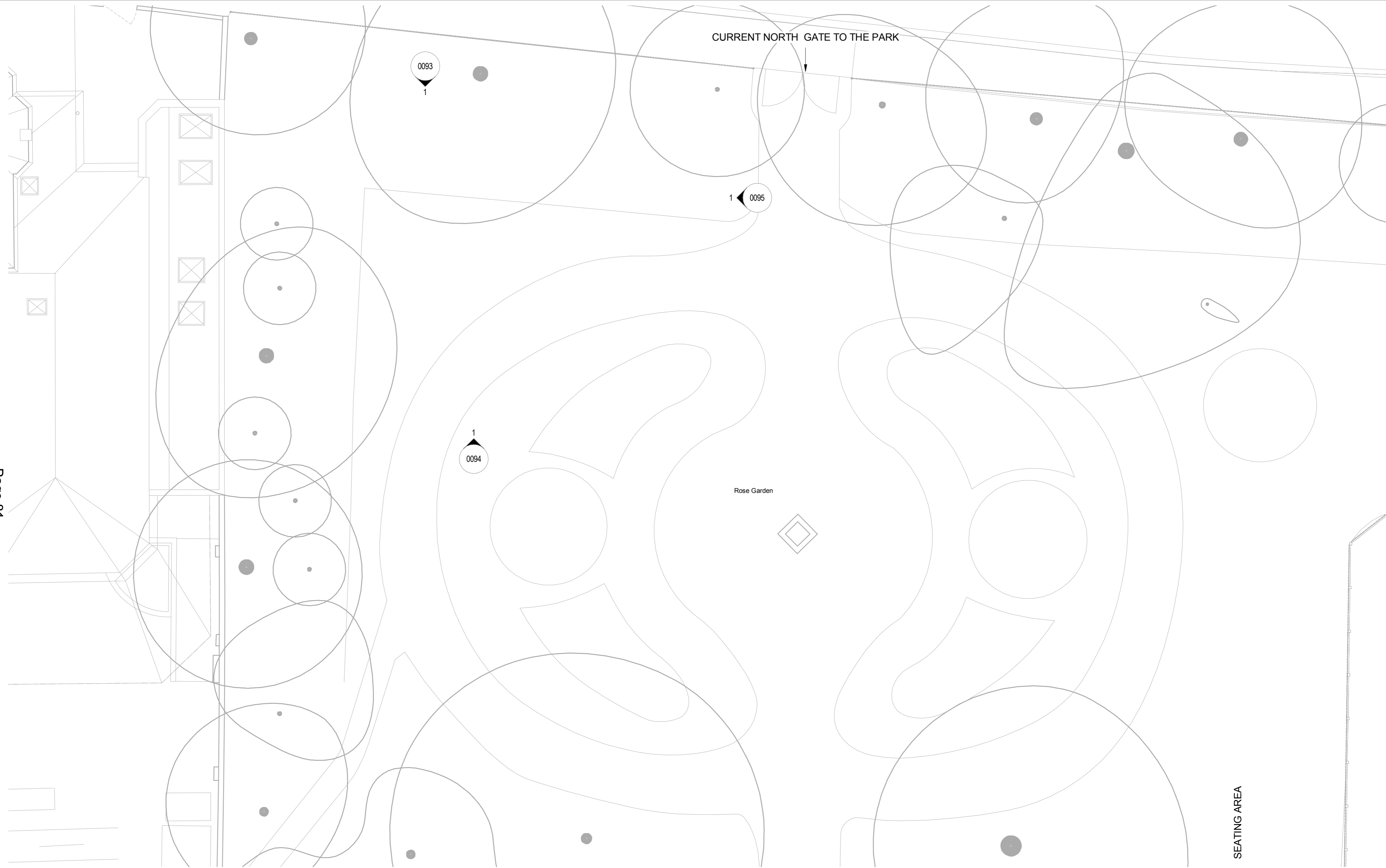
PROPOSED TEMPORARY STRUCTURE FOR THE PAVILLION

PROPOSED TEMPORARY STRUCTURE FOR THE TOILETS

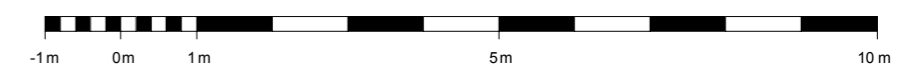
Rose Garden



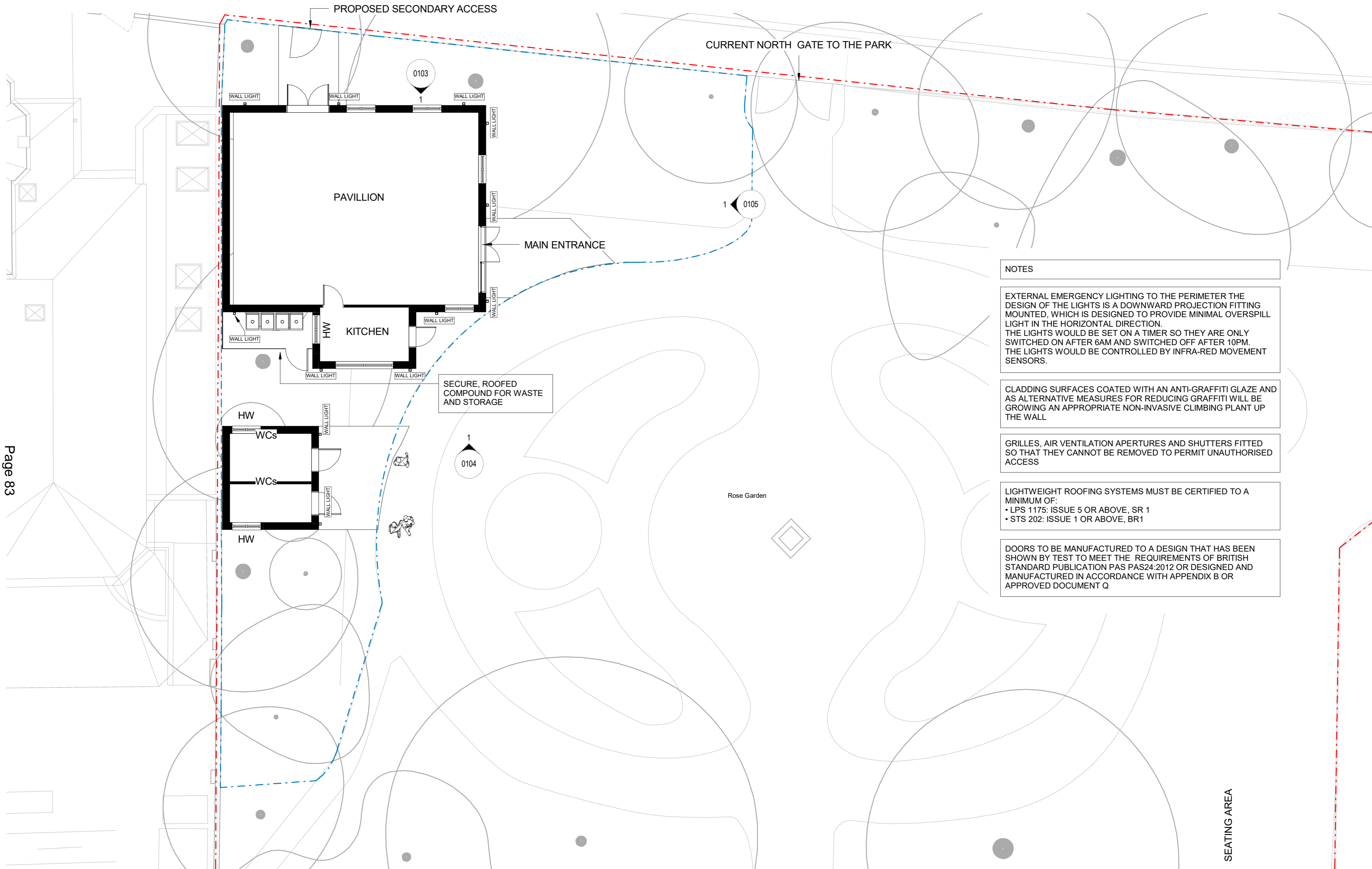
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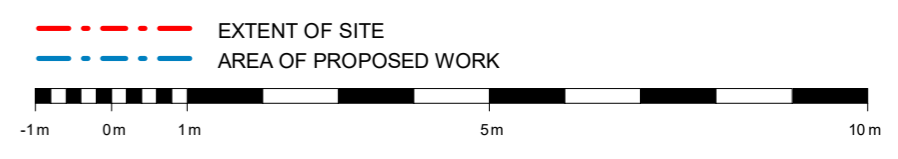
Existing Ground Floor Level



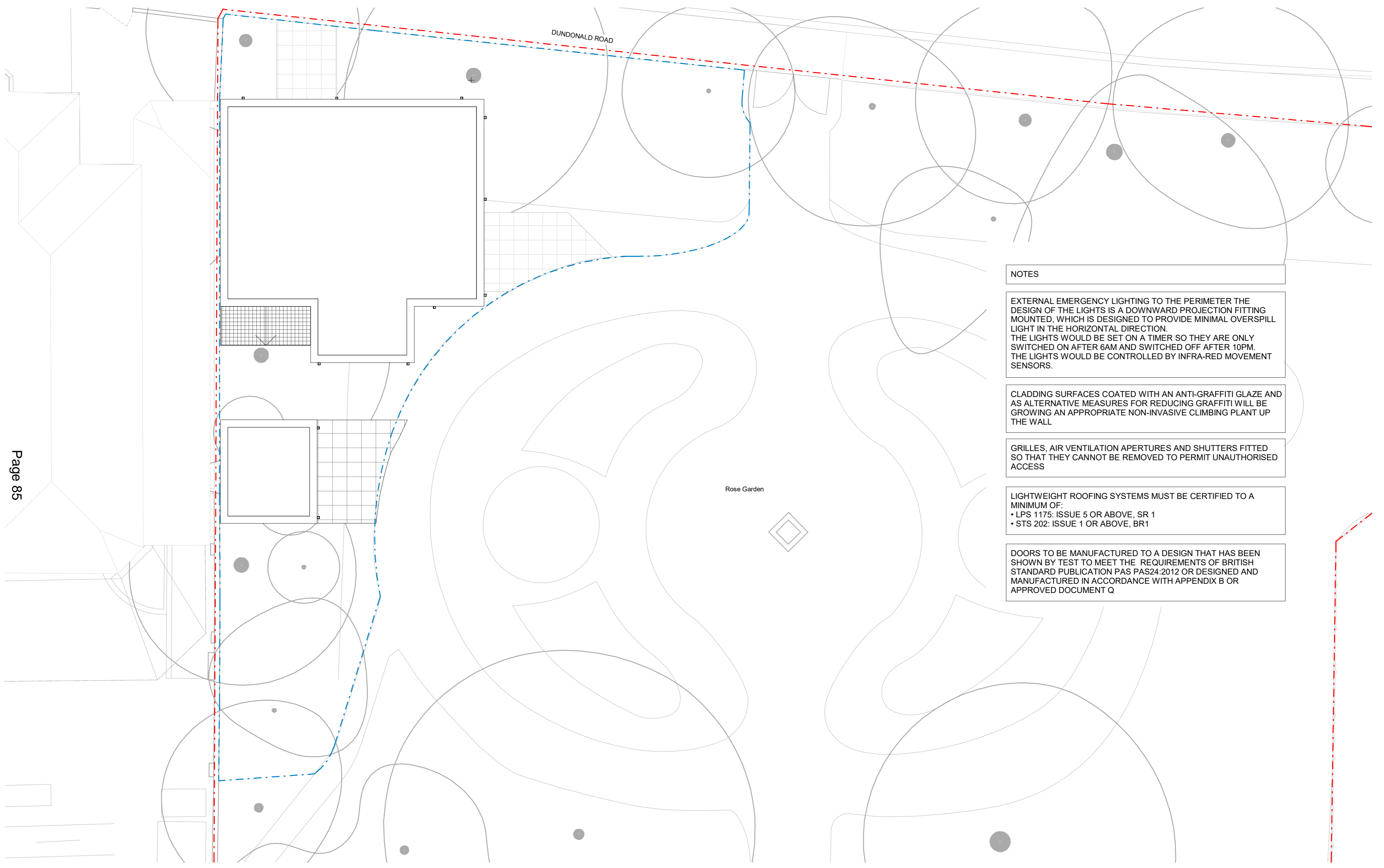
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- NOTES**
- EXTERNAL EMERGENCY LIGHTING TO THE PERIMETER THE DESIGN OF THE LIGHTS IS A DOWNWARD PROJECTION FITTING MOUNTED, WHICH IS DESIGNED TO PROVIDE MINIMAL OVERSPILL LIGHT IN THE HORIZONTAL DIRECTION. THE LIGHTS WOULD BE SET ON A TIMER SO THEY ARE ONLY SWITCHED ON AFTER 6AM AND SWITCHED OFF AFTER 10PM. THE LIGHTS WOULD BE CONTROLLED BY INFRA-RED MOVEMENT SENSORS.
 - CLADDING SURFACES COATED WITH AN ANTI-GRAFFITI GLAZE AND AS ALTERNATIVE MEASURES FOR REDUCING GRAFFITI WILL BE GROWING AN APPROPRIATE NON-INVASIVE CLIMBING PLANT UP THE WALL
 - GRILLES, AIR VENTILATION APERTURES AND SHUTTERS FITTED SO THAT THEY CANNOT BE REMOVED TO PERMIT UNAUTHORISED ACCESS
 - LIGHTWEIGHT ROOFING SYSTEMS MUST BE CERTIFIED TO A MINIMUM OF:
 - LPS 1175: ISSUE 5 OR ABOVE, SR 1
 - STS 202: ISSUE 1 OR ABOVE, BR1
 - DOORS TO BE MANUFACTURED TO A DESIGN THAT HAS BEEN SHOWN BY TEST TO MEET THE REQUIREMENTS OF BRITISH STANDARD PUBLICATION PAS PAS24:2012 OR DESIGNED AND MANUFACTURED IN ACCORDANCE WITH APPENDIX B OR APPROVED DOCUMENT Q



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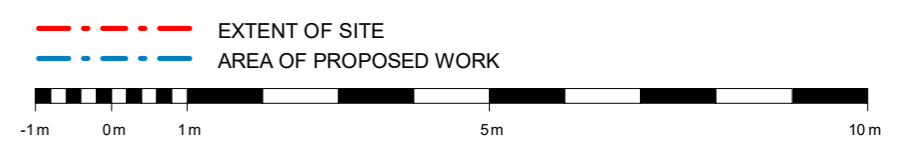
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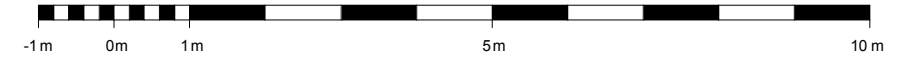
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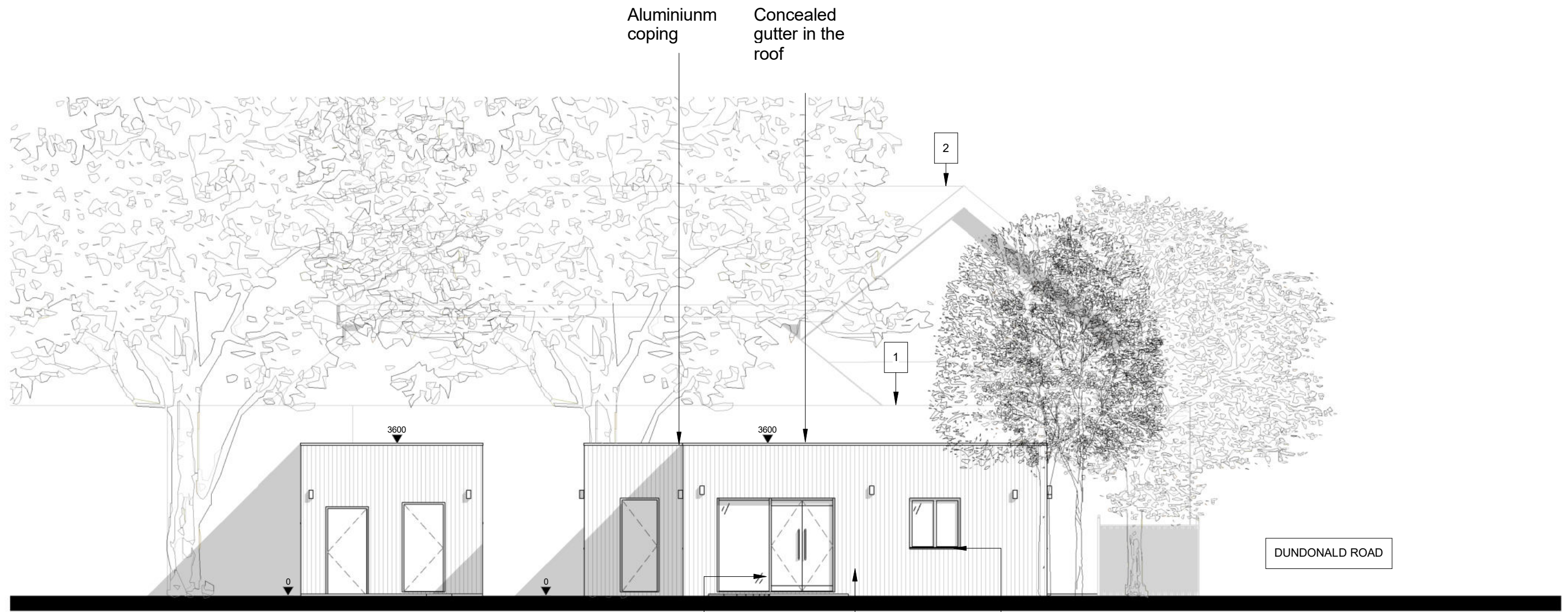
- 1. EXISTING DUNDONAL SCHOOL BOUNDARY WALL
- 2. EXISTING DUNDONAL SCHOOL BUILDING
- 3. EXISTING FENCE OF TENNIS COURT



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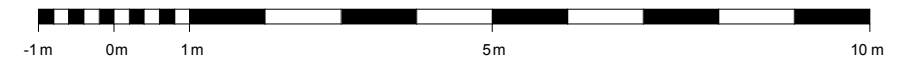
Aluminium door frame Timber cladding Aluminium windows frame



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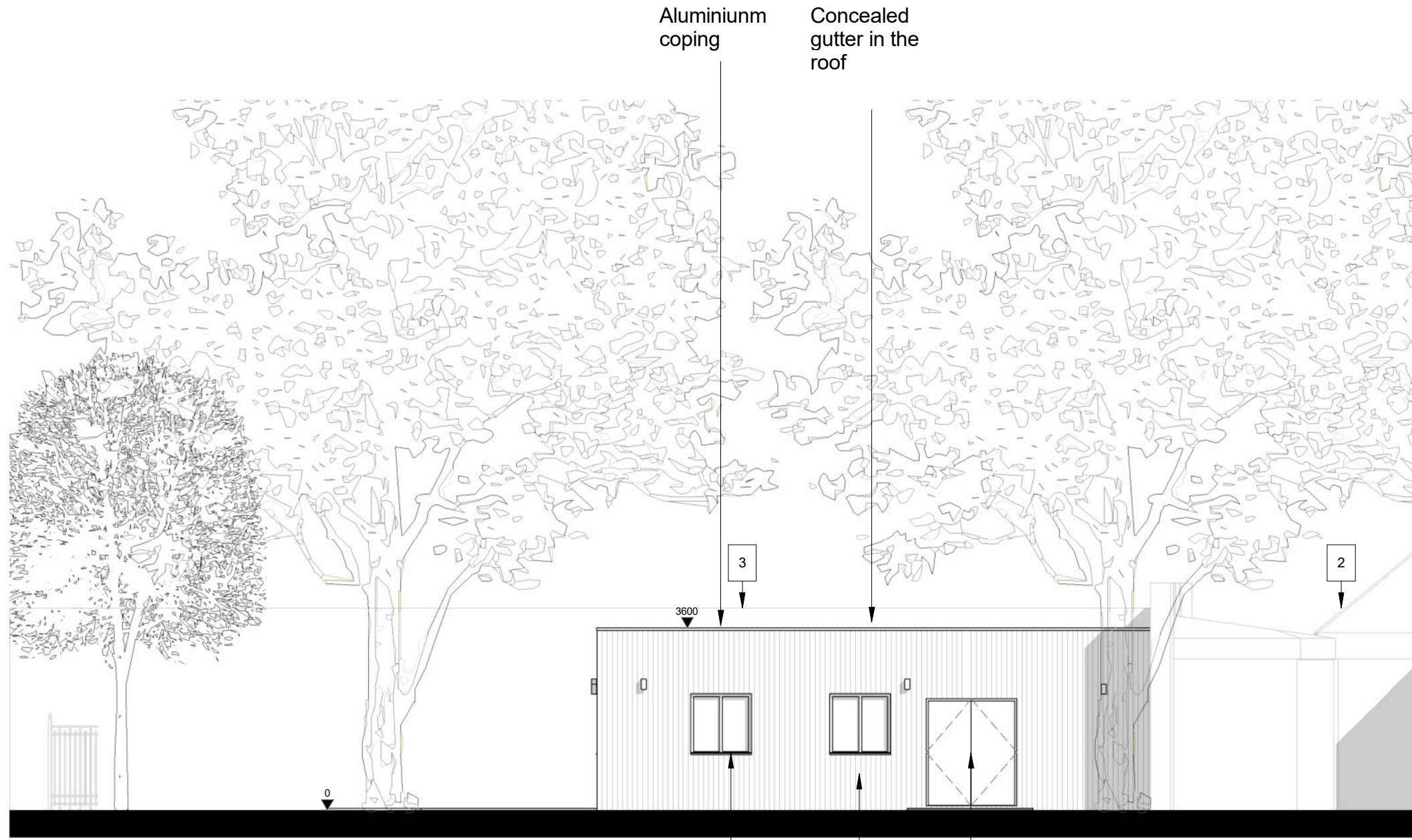


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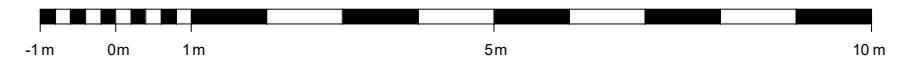
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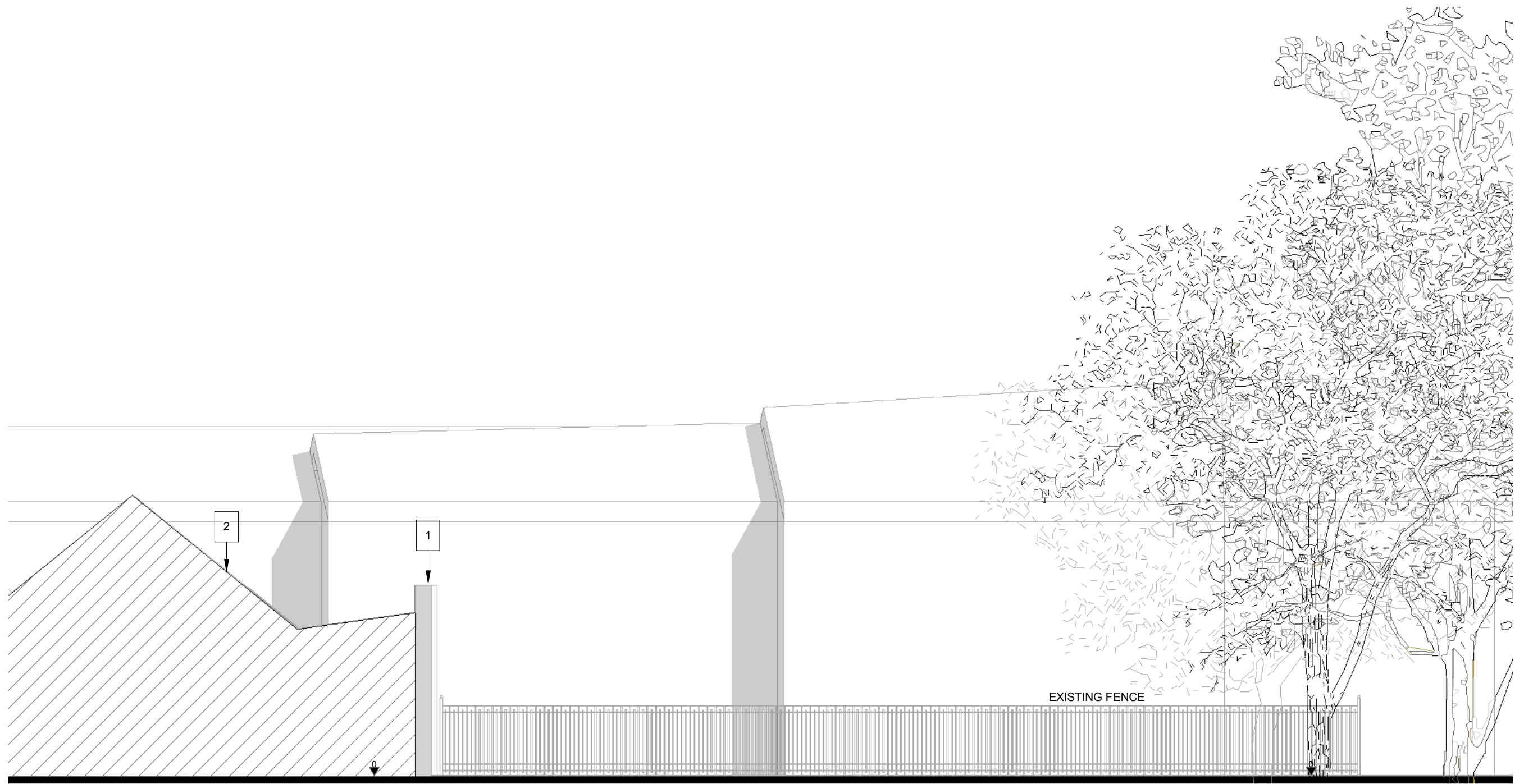
Aluminium windows frame Aluminium door frame

Timber cladding

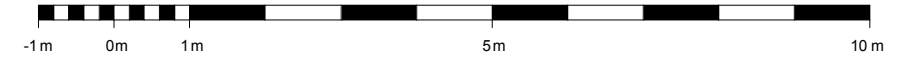


Proposed North Elevation from Dundonald Road

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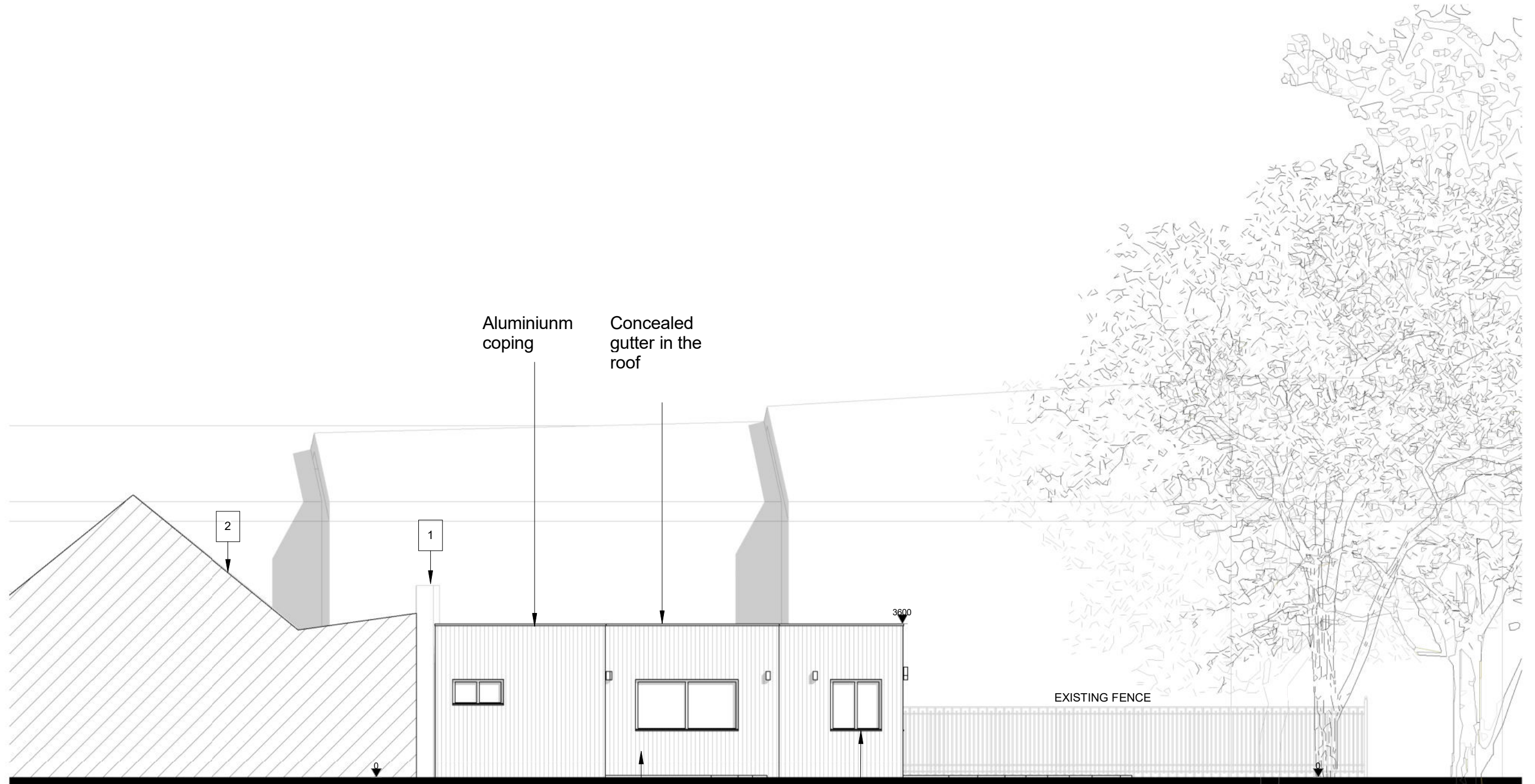
- 1. EXISTING DUNDONAL SCHOOL BOUNDARY WALL
- 2. EXISTING DUNDONAL SCHOOL BUILDING
- 3. EXISTING FENCE OF TENNIS COURT



Existing South Elevation from tennis courtyard

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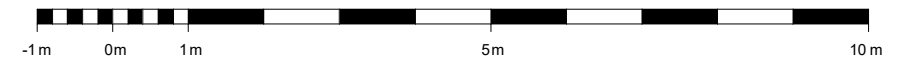
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- 2. EXISTING DUNDONAL SCHOOL BUILDING
- 3. EXISTING FENCE OF TENNIS COURT

Timber cladding

Aluminium windows frame



Proposed South Elevation from tennis courtyard

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PLANNING APPLICATIONS COMMITTEE

29th April 2021

APPLICATION NO

20/P2882

DATE VALID

11/09/2020

Address/site: 9A The Grange, Wimbledon, London, SW19 4PT

Ward: Village

Proposal: SIDE AND REAR EXTENSION OF EXISTING BUILDING AND SINGLE BASEMENT DEVELOPMENT TO CREATE TWO NUMBER OF SEMI-DETACHED HOUSES BY CONSOLIDATE EXISTING 4 FLATS INTO A SINGLE DWELLING HOUSE AND CREATE A NEW UNIT TO THE SIDE. PARTIAL DEMOLITION OF EXISTING BUILDING TO THE SIDE AND REAR, FRONT FACADE RETENTION, FULL DEMOLITION OF SINGLE STOREY GARAGE AND OUTBUILDING. NEW CROSSOVER AND BOUNDARY WALL PROPOSED.

Drawing Nos. 181023 -A100 Rev B, 101 B, 102 B, 103 B, 181023 -A200, A201, A300, A310 A, E100 A, E101A, E102 A, E103 A, E200, E300, L001, D4S4347 SK02.

Contact officer: Tim Bryson (020 8545 3981)

RECOMMENDATION

GRANT Planning Permission subject to conditions

CHECKLIST INFORMATION.

- Conservation Area - Yes
- Area at risk of flooding - No
- Controlled Parking Zone - Yes
- Trees - Yes
- Listed Building – Yes (Locally Listed)
- Is a Screening Opinion required: No
- Is an Environmental Statement required: No

- Has an Environmental Statement been submitted: No
- Press notice: Yes
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 23

1. INTRODUCTION

- 1.1 This application has been brought to the Planning Applications Committee for determination due to the nature and number of objections received.

2.0 SITE AND SURROUNDINGS

- 2.1 The application site is situated a detached residential building situated on the north eastern side of The Grange. The property benefits from red brick and scallop tile hung external appearance built in 1899.
- 2.2.1 The dwelling was originally a single family dwellinghouse. However, since 1962 the property was converted into 4no residential flats.
- 2.3 The site is situated within the Wimbledon West Conservation Area and is a Locally Listed Building.

3.0 PROPOSAL

- 3.1 The current application seeks planning permission to convert the existing dwelling back into a single family dwelling and create an extension to create an additional dwelling (No.9B) to form pair of semi-detached dwellings.
- 3.2 The proposed extension (that will accommodate 9B) would be situated 6.5 metres from the front wall of the existing site (9A). The proposed new dwelling would have a footprint of 12 metres in depth and 10 metres wide. The maximum height of 9B would be 12 metres, 0.5 metres below that of existing 9A The Grange. The property would benefit from 3no front dormer windows would measure a maximum width of 1.7 metres, height of 2 metres and depth of 1 metre. Materials to the property would match the existing property at No.9A.
- 3.3 At the existing site, the insitu extensions at the rear would be removed and new extensions imposed which would measure a maximum width of 8 metres and a maximum height of 12.5 metres. The prominent architectural features on the front and side elevation of the property will be retained. The rear extensions would match the rear of the proposed new dwelling at 9B. The

property benefits from an existing basement area measuring 36sqm. Under the proposed development, the basement area would increase at No.9A to 83.5sqm and an additional new basement are would serve 9B, and measure 128.4sqm.

- 3.4 The proposal would include the removal of the hardstanding and garages at the rear of the site and replace with grass to form gardens. The proposal would also create a new individual access via hardstanding to No.9B. A side boundary fence would be erected to a height of 1.8 metres to separate the front and rear amenity space of both dwellings.
- 3.5 Both properties would benefit from refuse and cycle parking facilities located behind a 1.8 metre high fence located to the side of the property.
- 3.6 Landscaping would be included to the front amenity space.
- 3.7 Each dwelling would have off-street parking to accommodate max of 3 cars.
- 3.8 The front boundary wall to the front elevation would be raised to match height of neighbouring walls of 1.8 metres and constructed with brick materials. The access gates to a slatted gate, measured to the same height as the front boundary wall.

Amendments: Amended plans were received to include a small turning area to the front of the site for the host building at the request of the Council's Transport Planner. An Addendum to the Arboricultural Report was also received to correct discrepancies between the original report and the plans, and provide further information on the basement construction, as noted by the Council's Tree and Landscape Officer.

No further re-consultation was required given the minor changes.

4. PLANNING HISTORY

- 4.1 WIM6607: ALTERATIONS FORMING THE PROPERTY INTO FOUR SELF CONTAINED FLATS COMPRISING TWO FLATS ON GROUND FLOOR, AND ONE FLAT ON EACH OF THE FIRST AND SECOND FLOORS AND ERECTION OF FOUR GARAGES - Granted 14/12/1962

Trees applications:

- 4.2 07/T1208: NUMBER 9 THE GRANGE: CHERRY TREE TO HAVE OVER HANGING CANOPY PRUNED BACK TO BOUNDARY LINE. FRONTAGE TO NUMBER 10 THE GRANGE: TREE OF HEAVEN TO BE CROWN REDUCED BY 20% AND BE CUT BACK FROM PROPERTY. PURPLE PLUM TREE TO BE PRUNED TO RESHAPE. Tree Works Approved – 14-05-2007.
- 4.3 11/T2803: FRONT GARDEN BOUNDARY: DEAD CHERRY ADJACENT TO DRIVE TO BE REMOVED. Tree Works Approved – 07-11-2011.

- 4.4 15/T3270: DIRECTLY BEHIND WALL ON FRONTAGE: HAWTHORN & HOLM OAK TREE TO BE REMOVED. Tree Works Approved – 30-09-2015
- 4.5 16/T1663: REAR GARDEN: 1X SILVER BIRCH TREE TO BE FELL TO GROUND LEVEL AND GRIND OUT STUMP. Tree Works Approved – 06-06-2016
- 4.6 17/T2907: REAR GARDEN - GENERAL MAINTENANCE TO ALLOW LIGHT TO BEDS FOR PURPOSE OF REPLANTING THEM: 1 X ROBINIA - 30% REDUCTION PRUNING BACK BRANCHES BY UP TO 6FT LEAVING ROUNDED EVEN CANOPY. 1 X BIRCH TREE - REMOVAL. Tree Works Approved – 31-08-2017.

Pre-Application Advice

- 4.7 19/P1002: PRE APPLICATION ADVICE FOR THE DEMOLITION OF AN EXISTING BLOCK OF FOUR FLATS AND ERECTION OF A PAIR OF SEMI-DETACHED HOUSES. Advice Given 21/02/2020.

5.0 CONSULTATION

- 5.1 The application was advertised by press and Conservation Area site notice procedure, and consultation letters were sent to neighbouring properties. 23 representations have been received raising objection to the application and can be summarised as follows:
- The house, originally named Eversley, erected in 1889 has ornamental features on the front elevation. Elevations have been unchanged since 1902.
 - The plans conflict with the character of this largely Victorian road, the gardens are jeopardised, and views affected. Houses in our road were built to have grounds, or lungs, with air and greenery around.
 - Loss of parking space as a result of the cross over.
 - Concern over existing trees and disruption to local wildlife as a result of the development.
 - Increasing opportunity for overlooking.
 - Unacceptable impact on the West Wimbledon conservation Area.
 - Closing of the remaining space detrimentally harms outlook of immediate neighbour.
 - The application will result in the loss of residential units (from 4 flats to 2houses), which is contrary to Merton's Local Plan Policy CS9 and London Plan Policy 3.14. These policies specifically seek to resist the net loss of residential units. Within the pre-application advice issued by the Council, the officer has argued that the benefits of the scheme outweigh the loss of the 2 flats. The officer refers to the removal of the poorly designed extension and the provision of other heritage benefits in outweighing the loss of 2 flats. However, a scheme could be brought forward which both retains the number of residential units and brings heritage benefits. We would argue that the contravention of Policy CS9 in particular, has not been given substantial weight at pre-application stage. The rejection of the clear principles of Policy

- CS9 could also set a worrying precedent for other developers within the Borough at a time when we are suffering a national housing shortage.
- Support of renovation to the property but do not feel that the works would not be in keeping with the wider area.
 - Not in keeping with the character of the conservation area.
 - Close proximity of development to No.10
 - Traffic disruption.
 - Existing character is detached dwelling and the proposed additional would entirely harm the character of the area.
 - The existing basement has been prone to flooding
 - Construction disturbance over the next years
 - Overdevelopment,
 - Properties along The Grange are characterised with large garden spaces. If this approval is accepted then all properties along the street have the same development opportunities.
 - Nos 8, 9 and 10 are designed to have designed to have their gardens to the side of the property.
 - Refurbishment of the existing flatted property would be far more appropriate.
 - Supportive of the conversion of 9A back into a single family dwelling. However, the scale of the proposed dwelling is totally unreasonable.
 - Proposal would involve the loss of residential units (from 4 flats to 2 houses), contrary to Merton's Local Plan Policy CS9 and London Plan Policy 3.14, which resist the net loss of residential units. Better to propose a development would retain the same number of units and retains heritage benefits. This rejection of policy provides a worrying precedent for the future.
 - Detrimental impact on the conservation area. The Wimbledon West Conservation Area Appraisal states that 'the substantial gaps between these houses provide long-range views to the east and west'. The existing site plan shows substantial gaps in between each property along The Grange and the proposal would notably reduce this existing pattern. This gap is not given significant weight at pre-application stage.
 - The scheme is too large for the site.
 - The proposed streetscene elevation is not an accurate representation of the on-site conditions and should be amended to reflect the large gaps in between the properties.
 - The proposal involves works to the boundary wall that is maintained by No.10. However, no permission has been sought for this.
 - The unique charm of The Grange, in a Conservation Area, is that the houses each have their own character, with breathing space in between for trees and gardens. The proposed development at 9A/9B The Grange would double the size of the building on the plot and this space would be lost.
 - The unique charm of The Grange, in a Conservation Area, is that the houses each have their own character, with breathing space in between for trees and gardens.
 - The authorisation of this building would set a precedent that would erode and destroy the character of the conservation area – namely that all garden spaces on The Grange can be turned into development opportunities.
 - The submitted Construction Method Statement is insufficient in order to determine the potential impact of the construction process on the local area.

- The application involves works to the boundary wall that is maintained by no 10 The Grange, although no permission has been sought for this.
- Current works occurring at 24 The Grange causing continued noise and nuisance for the surrounding neighbours and concern is that there will be a similar impact if this application is approved.

The Wimbledon Society

The Wimbledon Society has the following comments on this application:

- This property is in the West Wimbledon conservation area, and is a circa 1895 Locally Listed Building.
- It is in an Archaeological Priority Zone, so any permission would need to have a suitable condition imposed to cover excavation which would be supervised by an independent archaeology team funded by the developer, all in accordance with Policies DM D4 and CS 14
- It is debateable whether the retention of only the frontage and some side walls of this listed property would adequately “conserve and enhance the significance of the heritage asset” as set out in Policy DM D4B. Such minimal retention of the original fabric may well result in “substantial harm to the significance of the heritage asset” as noted in Policy DM D4C.
- The loss of housing where the existing 4 flats are lost and replaced by two new houses result is contrary to Policy CS9.
- Given that the new structure contains a basement and likely water table changes it is important to have a condition imposed regarding retention and root damage limitation zones for trees at the frontage, rear and side.
- While it is welcome to see that the portion of the proposed new development would be set back, thus allowing more green areas to be present at the front and a return to a garden area at the rear, a condition should be set that requires the later submission of a landscape plan covering the front garden areas and the front walls and gates facing the street:
- No information is provided on meeting enhanced energy standards, considered to be essential before any application is decided.

For the above reasons we consider the application in its current form should not be approved.

5.2 Consultations

Thames Water:

Waste comments:

Thames Water would advise that with regard to WASTE WATER NETWORK and SEWAGE TREATMENT WORKS infrastructure capacity, we would not have any objection to the above planning application, based on the information provided.

With regard to SURFACE WATER drainage, Thames Water would advise that if the developer follows the sequential approach to the disposal of surface water we would have no objection. Where the developer proposes to

discharge to a public sewer, prior approval from Thames Water Developer Services will be required.

As required by Building regulations part H paragraph 2.36, Thames Water requests that the Applicant should incorporate within their proposal, protection to the property to prevent sewage flooding, by installing a positive pumped device (or equivalent reflecting technological advances), on the assumption that the sewerage network may surcharge to ground level during storm conditions. If as part of the basement development there is a proposal to discharge ground water to the public network, this would require a Groundwater Risk Management Permit from Thames Water. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures will be undertaken to minimise groundwater discharges into the public sewer.

We would expect the developer to demonstrate what measures will be undertaken to minimise groundwater discharges into the public sewer. Groundwater discharges typically result from construction site dewatering, deep excavations, basement infiltration, borehole installation, testing and site remediation. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. Should the Local Planning Authority be minded to approve the planning application, Thames Water would like the following **informative** attached to the planning permission: "A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer.

Water Comments:

On the basis of information provided, Thames Water would advise that with regard to water network and water treatment infrastructure capacity, we would not have any objection to the above planning application. Thames Water recommends the following **informative** be attached to this planning permission. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

If you are planning on using mains water for construction purposes, it's important you let Thames Water know before you start using it, to avoid potential fines for improper usage. More information and how to apply can be found online at thameswater.co.uk/buildingwater.

Council's Highways Officer:

No objection, subject to conditions and informatives.

Council's Environmental Health Officer:

No objection, subject to condition.

Council's Trees Officer:

No objection, subject to conditions.

Council's Conservation Officer:

Generally happy with the design of the proposals. The soft landscaping is quite detailed and comprehensive. The only concern is the amount of paving and the amount of hardstanding given over to parking, but I suppose it is a requirement to be able to turn around on site. We will need to see samples, bricks and tiles and the specification for the windows too.

Council's Transport Planner:

The transport officer provided the following comments in the lifetime of the application:

PTAL

The site lies within an area PTAL 2 which is considered to be poor. A poor PTAL rating suggests that only a few journeys could be conveniently made by public transport.

CPZ

The local area forms part of Controlled Parking Zone VOs. Restrictions are enforced from Monday to Saturday between 8.30am to 6.30pm.

ACCESS

Existing vehicle access retained for House 9A. The parking layout for the plot 9A is not acceptable. There is no adequate area within the site for cars to turn and join the highway in a forward gear.

New crossover to be created for House 9B. No dimensions are given on width of cross-overs. It appears at least two on street car parking bays will be lost due to the creation of the dropped crossing.

The existing Traffic Management order would need to be modified to secure the necessary highway markings to remove the bays and provide yellow lines on the highway between the proposed vehicle crossovers, where there is not sufficient space to reincorporate a parking bay. The costs of the Traffic Management Order would amount to £3,600.00. This does not include the costs incurred for the suspension of works during construction.

Due to the height of the proposed wall (1.8m) there should be sufficient cross over width to provide pedestrian visibility when cars are crossing the public footpath.

Car Parking

The overall level of car parking provided for the existing and proposed units would be in line with relevant planning guidance and parking standards and as such, no objection is raised on this basis. However, to ensure that there is no displacement parking the application must be controlled by a Sec.106

agreement to ensure that the occupiers of the new units are not eligible for parking permits in the future.

Cycle Parking

2 cycle spaces (secure & undercover) per each dwelling satisfies the London Plan Standards.

Recommendation: Subject to issues raised above being satisfactorily addressed, transport planning is unable to comment further.

Council's Transport Planner – Additional comments following receipt of amended plans:

Having reviewed the amended plans to show the additional turning area to the front of 9A and the dimensions of the new access, I have no objection to the proposal.

Council's Flood Risk Officer:

The BIA report states that it is likely that the proposed redevelopment and its basement will not adversely impact on groundwater flows or ground water levels as there is adequate distance between the proposed basement and adjoining existing properties to allow any groundwater flows to pass freely between them. A ground investigation with sufficient samples is required to verify the ground conditions across the site. Therefore, a ground investigation (i.e. boreholes and groundwater standpipes) is required to appropriately demonstrate any potential groundwater issues and effects. This can be conditioned as a pre-commencement condition due to the property currently being tenanted.

The Environment Agency's (EA) website and shows the existing site located within an area predominantly exposed to low risk of Surface Water (overland) flooding. The site is not located in a Flood Zone (2 or 3).

The proposed surface water drainage strategy significantly restricts the peak surface water runoff rate generated by the new development to a maximum of 2 litres/second Greenfield run-off rate. In order to achieve this reduction, 13m³ of attenuation volume is being provided at each property in the form of underground modular geocellular storage tanks.

It has been demonstrated in this report that sustainable drainage systems are feasible at this site to ensure surface water run-off is controlled within the site boundaries for a severe 1 in 100 year design storm with 40% allowance for climate change.

Recommend the following conditions, should permission be granted:

Condition:

No development approved by this permission shall be commenced until a detailed scheme for the provision of surface and foul water drainage has been

implemented in accordance with details that have been submitted to and approved in writing by the local planning authority. The drainage scheme will dispose of surface water by means of a sustainable drainage system (SuDS) at a restricted runoff rate (no more than 2l/s), in accordance with drainage hierarchy contained within the London Plan Policy (5.12, 5.13 and SPG) and the advice contained within the National SuDS Standards.

Condition:

No development shall take place until a Ground Investigation has been carried out on site and submitted to and approved in writing by the Local Planning Authority.

Condition:

Prior to the commencement of development, the applicant shall submit a detailed proposal on how drainage and groundwater will be managed and mitigated during and post construction (permanent phase), for example through the implementation of passive drainage measures around the basement structure.

Informative:

No surface water runoff should discharge onto the public highway including the public footway or highway. When it is proposed to connect to a public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required (contact no. 0845 850 2777).

No waste material, including concrete, mortar, grout, plaster, fats, oils and chemicals shall be washed down on the highway or disposed of into the highway drainage system.

6.0 RELEVANT POLICIES

National Planning Policy Framework (2019)

- Chapter 2 Achieving sustainable development
- Chapter 4 Decision-making
- Chapter 5 Delivering a sufficient supply of homes
- Chapter 9 Promoting sustainable transport
- Chapter 11 Making effective use of land
- Chapter 12 Achieving well-designed places
- Chapter 14 Meeting the challenge of climate change, flooding and coastal change
- Chapter 15 Conserving and enhancing the natural environment
- Chapter 16 Conserving and enhancing the historic environment

London Plan 2021

- D3 Optimising site capacity through the design-led approach

- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D10 Basement development
- H1 Increasing housing supply
- H2 Small sites
- H8 Loss of existing housing and estate redevelopment
- H9 Ensuring the best use of stock
- H10 Housing size mix
- HC1 Heritage conservation and growth
- G5 Urban greening
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- SI 1 Improving air quality
- SI 2 Minimising greenhouse gas emissions
- SI 12 Flood risk management
- SI 13 Sustainable drainage
- T4 Assessing and mitigating transport impacts
- T5 Cycling
- T6 Car parking
- T6.1 Residential parking
- T7 Deliveries, servicing and construction

Merton Core Strategy (2011)

- Policy CS 8 Housing Choice
- Policy CS 9 Housing Provision
- Policy CS 13 Open space, nature conservation, leisure and culture
- Policy CS 14 Design
- Policy CS 15 Climate Change
- Policy CS 16 Flood Risk Management
- Policy CS 17 Waste Management
- Policy CS 20 Parking, Servicing and Delivery

Merton Sites and Policies Plan (2014)

- DM H2 Housing mix
- DM O2 Nature Conservation, Trees, hedges and landscape features
- DM D1 Urban design and the public realm
- DM D2 Design considerations in all developments
- DM D3 Alterations and extensions to existing buildings
- DM D4 Managing heritage assets
- DM F1 Support for flood risk management
- DM F2 Sustainable urban drainage systems (SuDS) and; Wastewater and Water Infrastructure
- DM T1 Support for sustainable transport and active travel
- DM T2 Transport impacts of development
- DM T3 Car parking and servicing standards

Other guidance:

- The National Planning Policy Guidance 2019
- DCLG Technical Housing Standards - Nationally Described Space Standard 2016
- London Housing SPG – 2016
- Merton's Design SPG 2004
- Basement and Subterranean Planning Guidance 2017

7.0 KEY PLANNING CONSIDERATIONS

7.1 The main planning considerations concern the principle of development, together with design/conservation issues, neighbour amenity, trees, parking and highways, basement accommodation and sustainability.

7.1 Principle of Development

7.1.1 The National Planning Policy Framework, London Plan Policy H2 and the Council's Core Strategy Policy CS8 and CS9 all seek to increase sustainable housing provision and access to a mixture of dwelling types for the local community, providing that an acceptable standard of accommodation would be provided. Although the provision of additional dwellings in the borough are supported, new dwellings are required to comply with the technical housing standards and re-provide a family-sized unit as required by Core Strategy Policy CS14.

7.1.2 The planning history (WIM6607) relating to the property confirm that the building was originally a single family dwelling. The principle of development relating to providing a single family dwelling on the site is therefore considered acceptable in principle, as this was the original use of the property in question. However, with this in mind the loss of the existing residential units must be reviewed.

7.1.3 The Adopted Core Strategy policy CS.9 (Housing Provision) does not support proposals, which result in a net loss of residential units. Given the proposal would result in the net loss of two residential units, it would be contrary to the above policy.

7.1.4 In regards to planning policy CS.9 (Housing Provision), however each application must be treated on its own merits. In this instance, whilst the proposal would result in the net loss of two units, the building has a number of poorly designed extensions which fail to positively contribute to the character of the application site, which in itself is locally listed, and the wider area in which it is situated. It is noted that site benefits from a large area of hardstanding to the rear, as well as an insitu garages which relate poorly within the context of the existing dwelling and wider locality.

7.1.5 The proposal would remove the poorly designed extensions and garages and would replace with a side extension that is set back from the front wall of the

dwelling so as to preserve the character and appearance of the existing building. The proposal would also include remove the large amount of hardstanding at the site and replacing with soft landscaping to the front, side and rear of the property which serves to notably improve the character and appearance of the property. Officers also acknowledge that converting the property back into its original single-family state would fall in line with the prevailing property type in the wider area, thus serving to preserving the existing character in the wider area. Therefore, whilst it is considered that the proposed development would represent an overall loss in residential units (contrary to Policy CS.9), the merits of the scheme is considered to outweigh the loss of the 2no residential units.

7.3 **Design and impact upon the character and appearance of the Conservation Area and locally listed building**

- 7.3.1 Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that with respect to any buildings or other land in a Conservation Area special attention shall be paid to the desirability of preserving or enhancing the character and appearance of that area.
- 7.3.2 The National Planning Policy Framework (NPPF) states that planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings. With regards to heritage assets, the NPPF outlines at paragraph 192 that In determining applications, local planning authorities should take account of:
- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
 - b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
 - c) the desirability of new development making a positive contribution to local character and distinctiveness.
- 7.3.3 The regional planning policy advice in relation to heritage assets is found in Policy HC1 of the London Plan, which outlines that development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings.
- 7.3.4 Planning Policies DM D2, DM D3 and DM D4 seek to ensure a high quality of design in all development, which related positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings and existing street patterns, historic context, urban layout and landscape features in Conservation Areas wither conserve or enhances the character and appearance of the Conservation Area. Core Planning Policy CS14 supports these SPP Policies. London Plan Policies D3 and D4 outline that development proposals should respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance and utilise

the heritage assets and architectural features that contribute towards the local character.

7.3.5 The application site is situated within the Wimbledon West Conservation Area (Sub area 9 – The Grange), of which the Conservation Area Character Appraisal provides the following considerations:

7.3.6 The application site, in the aforementioned appraisal, describes the application site as the following: “No. 9: A detached red brick and scallop tile hung house built by Townsend in 1899 and originally named “Eversley”, of two stories plus mansard built in 1889 with a substantial garden to the south. It is dominated by ornamental gables on the south-west and south-east corners and adorned with various bays, projecting chimney stacks and other features. The elevations remain much as originally built. Although it was converted into three flats in 1945, in 1957 an application to build a house to the south was refused, and the ground floor was further divided in 1962. It was added to the local list in February 1991.”

7.3.7 The document continues to state that: “The most positive feature of The Grange is the quality and completeness of the original houses, and their setting. The gardens to the south of Nos. 1, 7, 9, 10, 12, 15 and 26 are part of the original layout of The Grange, and now include mature landscaping with considerably enhance the townscape of this part of the Conservation Area. Another attractive and unusual asset are the trees preserved in the public highway.”

7.3.8 “The most significant negative feature is Grange Lodge, the modern replacement on the corner of the Ridgway. Also, although the streetscape is generally attractive and well maintained, there has been a tendency to turn the front gardens into hardstanding and/or provide garaged in the back gardens, particularly at Nos. 5-7, 11, 15-18, 22 and 24. Any further loss of traditional front gardens should be discouraged as far as possible.”

7.3.9 “The Grange may be regarded as the most consistent street, historically and architecturally within the Conservation Area, since virtually every building and its generously landscaped garden makes a valuable contribution and has not been replaced by later buildings of lesser character. Nos. 8, 9, 10 and 15 are placed at right angles to the road frontage and the substantial gaps between these houses provide long-range views to the east and west.”

7.3.10 In respect to the current application and its assessment from the aforementioned guidance and character appraisals the application site in question is noted to benefit from a relatively spacious garden to the south-east, of which the proposed development would be situated. From the street analysis provided in Street Elevation Analysis, DAS-1.3, it is clear that the majority of properties along The Grange are built closely to neighbouring boundaries. Several objections state that the proposed development would expand within unacceptable close proximity to No.10 and thus reduce the remaining available green space on site. Officers acknowledge that the proposal would reduce the current gap and consequently altered the views

that are currently available from the streetscene. This has been raised, among other considerations, as a key concern from representations to the application. In addition to this, it is noted that the proposal would create a semi-detached pair, which would clearly conflict with the prevailing character of development along The Grange, with only one other example (Nos 5 and 6) being seen at along the street in question.

- 7.3.11 Whilst officers acknowledge that the proposed extension expands across part of the remaining width of the spacious plot, on balance, is considered to be a beneficial use of the large space to the south-east of the dwelling. Also, the extension would be subordinated from the front wall of the existing property (set back by 6.5m) which would serve to maintain and observe the architectural prominence that the property currently exhibits. This maintained physical and architectural prominence of the main dwelling is considered to acceptably maintain the existing character of the streetscene and how the property relates within the wider Conservation Area.
- 7.3.12 The physical appearance of the proposed extension is not considered to be materially harmful within the character of the streetscene, by reason of the proposed front elevation not benefitting from any distinctive pitched roof detailing/gable end so as not to compete with the existing dwelling that would generate a confusing façade that would upset the character of the streetscene. The Key features of the existing building would be retained and with the significant set back of the proposed extension officers are satisfied that the extension would be an appropriate addition to the setting of the locally listed building. The main locally listed building would remain the more prominent building on site and the Council's Conservation Officer has not raised concern with the proposed extension.
- 7.3.13 Whilst the development is noted to materially reduce the existing 'breathing space' between 9A and 10 the Grange, the proposed extension is not considered to harmfully reduce the available amenity space to the extent that is materially harmful within the streetscene. Officers acknowledge that on-site conditions have been existing since its construction in the late 19th Century however, given the form and visual character of the wider properties along The Grange (including their proximity to the boundary lines), the proposal is not considered to fall outside of the prevailing pattern of development within the wider area to warrant the application for refusal. In addition, the proposed development would not be seen to unacceptably challenge the prominence of the neighbouring property of No.10 because the proposal would maintain a distance of 7.2 metres to the flank wall of number 10. This is noted to be a similar gap currently exhibited between No.8 and No.9A. As such, the proposal is not considered to unacceptably advance upon the neighbouring boundary line, nor introduce a development that would harmfully challenge the front elevation view of the street.
- 7.3.14 It is noted that the Council's appraisal document states "that these open plots should not be replaced by buildings of a lesser character." Thus indicating that utilising the space is not entirely restricted for future development, but rather that a high-quality development should be implemented. As such, given the

proposed development represents, by reason of high quality materials, appearance, positioning and utilisation of the available plot, a high quality and fitting development the proposal is considered to be an acceptable addition within the Wimbledon West Conservation Area and streetscene of The Grange.

7.3.15 The rear sections to be removed from the existing building are not of any architectural merit and their loss are not considered to cause harm to the setting of the locally listed building. The rear section would incorporate a matching rear design to both the host building and the new extension. The crown roof form would be set down from the main ridge height and therefore would not be visually prominent from the road.

7.3.16 The proposed development would also involve raising the boundary level to a maximum height of 1.8 metres on the front elevation of the site and include vehicle access gates to enable vehicle entry and exit at each property. This addition, by virtue of height and appearance, is considered to be consistent with the neighbouring properties at No.8 and 10 (and opposite at No.17 and 19) and is thus considered to represent an acceptable development within the character of the existing dwelling, streetscene and wider locality.

7.3.17 Overall, officers are satisfied that the proposal preserves both the character and appearance of the Conservation Area and the setting of the locally listed building and is therefore considered compliant with the above policies in this regard.

7.4 **Standard of Accommodation**

7.4.1 Policy 3.5 of the London Plan 2017 and the Department for Communities and Local Government 'Technical housing standards – nationally described space standards' set out a minimum gross internal area standard for new homes. This provides the most up to date and appropriate minimum space standards for Merton. In addition, adopted policy CS.14 of the Core Strategy and DM D2 of the Adopted Sites and Policies Plan and Policies Map (July 2014) encourages well designed housing in the borough by ensuring that all residential development complies with the most appropriate minimum space standards and provides functional internal spaces that fit for purpose. New residential development should safeguard the amenities of occupiers by providing appropriate level of sunlight and daylight and privacy for occupiers of adjacent properties and for future occupiers of proposed dwellings. The living conditions of existing and future residents should not be diminished by increase noise or disturbance.

7.4.2 In light of the fact that the proposed property would comfortably exceed the minimum space standards established in the London Plan, with each habitable room providing good outlook, light and circulation, it is considered the proposal would provide a satisfactory standard of accommodation for the future residents. In addition, the proposed dwellings would provide in excess of the minimum 50sqm of private outdoor amenity space required under policy DM D2. The proposed dwellings would therefore comply with Policy D6 of the

London Plan (2021), CS.14 of the Core Planning Strategy (July 2011) and DM D2 of the Adopted Sites and Policies Plan and Policies Map (July 2014) in terms of the standard of accommodation.

7.5 **Impact on neighbouring amenity**

7.5.1 Policy DM D2 (Design Considerations in all Developments) of the Adopted Merton sites and Policies Plan (2014) seeks to ensure that the potential impact of new development has regard for neighbouring amenity.

7.5.2 10 The Grange

7.5.3 Officers acknowledge the comments received in regards to this aspect of the development and considers that whilst the proposal represents a significant advance toward the neighbouring property, the proposal is not considered to cause harm to this neighbouring property by virtue of the extension maintaining a sufficient degree of separation (7.2 metres) so as to avoid an unacceptable degree of enclosure.

7.5.4 In addition to the above, it is noted that the first and second floor windows facing the proposed development are not habitable rooms and are either bathrooms (which benefit from obscure glazing) or is a window to service a staircase, all of which are not habitable rooms.

7.5.5 In regards to the ground floor windows at number 10 facing the proposed development, the majority of which service the hallway entrance and one bathroom thus no material impact is anticipated in this regard. The lower window for the kitchen and breakfast room is noted to be the only habitable room in the property to experience a degree of outlook of the proposed development. Having reviewed this, officers consider that the impact to the residents at No.10 The Grange is not materially harmful by reason of the distance of the proposed development which would not result in a materially harmful loss of outlook, sense of enclosure and loss of sunlight and daylight to the window thereof.

7.5.6 It is also noted that the rear amenity space to the rear of No.10 The Grange and the recent approval obtained under planning reference number 20/P3106 for a swimming pool building is not considered to be detrimentally affected so as to materially harmful the enjoyment of the external amenity space. Number 10 has outdoor garden space to the north and east of the property and although there would be some visual interaction from the rear facing dormer windows and first floor windows, this would be limited to one area of the outdoor space that serves this property.

7.5.7 In light of the above, the impact of the proposed development is considered to have an acceptable impact on the residential amenities of the neighbouring residents at No.10 the Grange and would not be materially harmful.

7.5.8 8 The Grange

7.5.9 The proposed development is not seen to encroach any further upon the neighbouring boundary of the neighbouring property of No.8. Also, the alterations to the main dwelling is not seen to protrude further than the existing rear wall of the neighbouring property and therefore not materially harmful impact is anticipated to the residential occupiers by reason of loss of outlook, light and sense of enclosure. Officers note that number 8 benefits from a recent planning permission for a two storey rear extension (20/P2417) and whilst this is not implemented, it would take number 8 of greater depth than the current proposed rear extension. Officers are therefore satisfied that there would be no material harm to the amenities of this neighbouring property.

7.5.10 29-31 Lingfield Road

7.5.11 The properties to the rear of application site, by reason of the properties being situated more than 50 metres from the proposed development, is not considered to result in a materially harmful impact to existing and future residents.

7.5.12 16-18 The Grange (opposite)

7.5.13 The proposed extension would be set back from the existing front elevation of the host building on site by 6.5 m. as such, owing to the distance from the proposal to the dwellings opposite the site, officers raise no concern with regards to the impact on the amenities of these neighbouring properties.

7.5.14 Overall, the proposal would not cause material harm to the surrounding amenities of neighbouring properties and is considered to be acceptable in this regard.

7.6 **Basement accommodation**

7.6.1 Planning policy DMD2 (Design considerations in all development) states that to ensure that structural stability is safeguarded and neighbourhood amenity is not harmed at any stage by the development proposal, planning applications for basement developments must demonstrate how all construction work will be carried out. Planning policy DM F1 (support for flood risk management) and DM F2 (sustainable urban drainage system (Suds) and; wastewater and water infrastructure) of Merton Sites and Policies Plan seeks to mitigate the impact of flooding in Merton.

7.6.2 The site lies within Flood Zone 1 (low risk of flooding) wherein principle a basement development is considered acceptable. The proposal includes a basement for each dwelling. Both basements would be under the footprint of the dwellings, with exception to two side lightwells. The size of the basements complies with planning policy DM D2 (Design considerations in all development) as they would not cover more than 50% of either the front or rear garden.

- 7.6.3 The application has been accompanied with a Basement Impact Assessment, Construction Method Statement and Sustainable Drainage Strategy. The Council's Flood Risk Officer has reviewed the proposal and is satisfied that the basements can be accommodated on site, subject to conditions.
- 7.6.4 The proposed basement would have a limited impact upon the visual amenities of area as there would be no front light wells. Therefore, the proposed basements would have a limited impact upon the visual amenities of the street scene and Conservation Area.

7.7 **Traffic and Highways**

- 7.7.1 Core Strategy Policy CS 20 considers matters of pedestrian movement, safety, servicing and loading facilities for local businesses and manoeuvring for emergency vehicles as well as refuse storage and collection.
- 7.7.2 Core Strategy Policy CS 18 promotes active means of transport and the gardens of the houses provide sufficient space for the storage of cycles without the need to clutter up the front of the development with further cycle stores.
- 7.7.3 The proposal would provide a separate vehicle entrance for the new dwelling with on-site turning area. The existing entrance would be utilised for the conversion to single dwelling at 9A. The proposal removes the rear hardstanding and garaging, but would provide a small turning area at the front of the site. The Grange is a relatively straight road with good visibility. The majority of properties in the road have off-road parking with private driveways. The Council's Transport Planner has reviewed the proposal and raises no objection.
- 7.7.4 Officers note the suggestion from the Transport Planner to require the two new dwellings to be permit-free and not allowed parking permits. Officers do not consider this would be justified in this case given the level of proposed off-street parking provision for each dwelling and the reduction in residential dwellings on site in which each flat is currently eligible for parking permits.

7.8 **Trees**

- 7.8.1 Merton Core Strategy Policy CS13 and Sites and Policies Plan Policy DMO2 outline that the Council will protect trees, hedges and other landscape features of amenity value and to secure suitable replacements in instances where their loss is justified.
- 7.8.2 The proposal has been accompanied with an Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Protection Plan. The tree report notes that the main trees on site are at the front of the site and haven't been maintained for several years. The report outlines that works to

trees would include crown lifting and re-pollarding to 3 trees and the removal of 4 trees at the front of the site (2 walnut trees, 1 holly tree and 1 tree of heaven). The trees to be removed are outlined to be of substandard quality. The Council's Tree and Landscape Officer raises no objection to the proposal and has recommended conditions.

- 7.8.3 The proposal provides opportunities for soft landscaping, which could include tree planting. This could be provided within the new rear gardens for the dwellings and small front gardens and is to be conditioned.

7.9 Sustainability

- 7.9.1 All new developments comprising the creation of new dwellings should demonstrate how the development will comply with Merton's Core Planning Strategy (2011) Policy CS15 Climate Change (parts a-d) and the policies outlined in Chapter 9 (Sustainable infrastructure) of the new London Plan.

- 7.9.2 The development will need to achieve internal water usage rates not in excess of 105 litres per person per day. Minor developments are required to demonstrate a 19% reduction in CO2 levels over and above the 2013 Building regulations.

- 7.9.3 The application is does not provide specific details on the measures to be used. However, this matter can be addressed by way of pre-occupation condition to ensure the relevant targets are met. Therefore, subject to condition, the proposal would comply with the policies within Chapter 9 of the new London Plan and Policy CS15 of the Core Planning Strategy 2011.

8.0 Conclusion

- 8.1 The proposed development, by reason of its scale, massing and proportion in context of the existing property is considered to be a sympathetic addition to the host locally listed building. The proposal would turn the host building back to a single family dwelling, as well as provide a new family dwelling. Also, the development is considered to be well subordinated from the front wall of the host dwelling and distanced from the neighbouring properties so as to ensure an acceptable impact on the character of the streetscene. In regards to the impact of the wider area and the Wimbledon West Conservation Area, the proposal is not considered to cause harm and would preserve its character and appearance. In addition to the above, the impact to the neighbouring amenity is not considered to be materially harmful. Therefore, the proposal is, considered to be in accordance with the aforementioned Merton planning policies.

RECOMMENDATION

Permission be GRANTED, subject to conditions:

- | | | |
|---|---|---|
| 1 | A1 Commencement of development (full application) | <p>The development to which this permission relates shall be commenced not later than the expiration of 3 years from the date of this permission.</p> <p>Reason: To comply with Section 91 (as amended) of the Town & Country Planning Act 1990.</p> |
| 2 | A7 Approved Plans | <p>The development hereby permitted shall be carried out in accordance with the following approved plans: 181023 -A100 Rev B, 101 B, 102 B, 103 B, 181023 -A200, A201, A300, A310 A, E100 A, E101A, E102 A, E103 A, E200, E300, L001, D4S4347 SK02.</p> <p>Reason: For the avoidance of doubt and in the interests of proper planning.</p> |
| 3 | B1 External Materials to be Approved | <p>No development shall take place until details of particulars and samples of the materials to be used on all external faces of the development hereby permitted, including window frames and doors (notwithstanding any materials specified in the application form and/or the approved drawings), have been submitted to the Local Planning Authority for approval. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall be carried out in full accordance with the approved details.</p> <p>Reason: To ensure a satisfactory appearance of the development and to comply with the following Development Plan policies for Merton: policy D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.</p> |
| 4 | B4 Details of surface treatment | <p>No development shall take place until details of the surfacing of all those parts of the site not covered by buildings or soft landscaping, including any parking, service areas or roads, footpaths, hard and soft have been submitted in writing for approval by the Local Planning Authority. No works that are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied / the use of the development hereby approved shall not commence until the details have been approved and works to which this condition relates have been carried out in accordance with the approved details.</p> <p>Reason: To ensure a satisfactory standard of development in accordance with the following</p> |

Development Plan policies for Merton: policies D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D1 and D2 of Merton's Sites and Policies Plan 2014.

5 B5 Details of Walls/Fences

No development shall take place until details of all boundary walls or fences are submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied / the use of the development hereby approved shall not commence until the details are approved and works to which this condition relates have been carried out in accordance with the approved details. The walls and fencing shall be permanently retained thereafter.

Reason: To ensure a satisfactory and safe development in accordance with the following Development Plan policies for Merton: policies D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D1 and D2 of Merton's Sites and Policies Plan 2014.

6 B6 Levels

No development shall take place until details of the proposed finished floor levels of the development, together with existing and proposed site levels, have been submitted to and approved in writing by the Local Planning Authority, and no development shall be carried out except in strict accordance with the approved levels and details.

Reason: To safeguard the visual amenities of the area and to comply with the following Development Plan policies for Merton: policy D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

7 C02 No Permitted Development (Windows and Doors)

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development)(England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no window, door or other opening other than those expressly authorised by this permission shall be constructed in the side elevations without planning permission first being obtained from the Local Planning Authority.

- Reason: To safeguard the amenities and privacy of the occupiers of nearby properties and to comply with the following Development Plan policies for Merton: policy D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.
- 8 C04 Obscured Glazing (Opening Windows) Before the development hereby permitted is first occupied, the windows at first floor level in the south-east elevation shall be glazed with obscured glass and shall be maintained as such thereafter.
- Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policy D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.
- 9 C08 No Use of Flat Roof Access to the flat roof of the development hereby permitted shall be for maintenance or emergency purposes only, and the flat roof shall not be used as a roof garden, terrace, patio or similar amenity area.
- Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policy D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.
- 10 F01 Landscaping/Planting Scheme No development shall take place until full details of a landscaping and planting scheme has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved before the commencement of the use or the occupation of any building hereby approved, unless otherwise agreed in writing by the Local Planning Authority. The details shall include on a plan, full details of the size, species, spacing, quantities and location of proposed plants, together with any hard surfacing, means of enclosure, and indications of all existing trees, hedges and any other features to be retained, and measures for their protection during the course of development.
- Reason: To enhance the appearance of the development in the interest of the amenities of the area, to ensure the provision sustainable drainage

surfaces and to comply with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policies CS13 and CS16 of Merton's Core Planning Strategy 2011 and policies DM D2, DM F2 and DM O2 of Merton's Sites and Policies Plan 2014.

11 A Non Standard Condition

Tree Protection: The details and measures for the protection of the existing trees as specified in the hereby approved document 'BS5837:2012 Tree Survey, Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Protection Plan' reference 'dated 'July 2020' and the addendum report titled 'BS 5837:2012 Addendum to report dated July 2020' dated 'March 2021' shall be fully complied with. The methods for the protection of the existing trees shall fully accord with all of the measures specified in the report and shall be installed prior to the commencement of any site works and shall remain in place until the conclusion of all site works.

Reason: To protect and safeguard the existing trees in accordance with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policy CS13 of Merton's Core Planning Strategy 2011 and policies DM D2 and O2 of Merton's Sites and Policies Plan 2014;

12 F08 Site Supervision (Trees)

Site supervision: The details of the Arboricultural Method Statement and Tree Protection Plan shall include the retention of an arboricultural expert to supervise, monitor and report to the LPA not less than monthly the status of all tree works and tree protection measures throughout the course of the construction period. At the conclusion of the construction period the arboricultural expert shall submit to the LPA a satisfactory completion statement to demonstrate compliance with the approved protection measures.

Reason: To protect and safeguard the existing retained trees in accordance with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policy CS13 of Merton's Core Planning Strategy 2011 and policy DMO2 of Merton's Sites and Policies Plan 2014.

13 A Non Standard Condition

Underpinning: The underpinning to the retained existing basement shall be constructed from within the building and as shown in the approved

document 'BS 5837:2012 Addendum to report dated July 2020' dated 'March 2021'.

Reason: To protect and safeguard the existing trees in accordance with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policy CS13 of Merton's Core Planning Strategy 2011 and policies DM D2 and 02 of Merton's Sites and Policies Plan 2014.

- 14 D11 Construction Times No demolition or construction work or ancillary activities such as deliveries shall take place before 8am or after 6pm Mondays - Fridays inclusive, before 8am or after 1pm on Saturdays or at any time on Sundays or Bank Holidays.

Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with the following Development Plan policies for Merton: policy D14 and T7 of the London Plan 2021 and policy DM EP2 of Merton's Sites and Policies Plan 2014.

- 15 H09 Construction Vehicles The development shall not commence until details of the provision to accommodate all site workers', visitors' and construction vehicles and loading /unloading arrangements during the construction process have been submitted to and approved in writing by the Local Planning Authority. The approved details must be implemented and complied with for the duration of the construction process.

Reason: To ensure the safety of pedestrians and vehicles and the amenities of the surrounding area and to comply with the following Development Plan policies for Merton: policies D4 and T7 of the London Plan 2021, policy CS20 of Merton's Core Planning Strategy 2011 and policy DM T2 of Merton's Sites and Policies Plan 2014.

- 16 A Non Standard Condition No development approved by this permission shall be commenced until a detailed scheme for the provision of surface and foul water drainage has been implemented in accordance with details that have been submitted to and approved in writing by the local planning authority. The drainage scheme will dispose of surface water by means of a sustainable drainage system (SuDS) at a restricted runoff rate (no more than 2l/s), in accordance with drainage hierarchy contained within the London Plan

Policy (5.12, 5.13 and SPG) and the advice contained within the National SuDS Standards.

Reason: To ensure satisfactory means of surface water drainage, to reduce the risk of flooding and to comply with the following Development Plan policies for Merton: policy SI 13 of the London Plan 2021, policy CS16 of Merton's Core Planning Strategy 2011 and policy DM F2 of Merton's Sites and Policies Plan 2014.

17 A Non Standard Condition

No development shall take place until a Ground Investigation has been carried out on site and submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure satisfactory means of surface water drainage, to reduce the risk of flooding and to comply with the following Development Plan policies for Merton: policy SI 13 of the London Plan 2021, policy CS16 of Merton's Core Planning Strategy 2011 and policy DM F2 of Merton's Sites and Policies Plan 2014..

18 A Non Standard Condition

Prior to the commencement of development, the applicant shall submit a detailed proposal on how drainage and groundwater will be managed and mitigated during and post construction (permanent phase), for example through the implementation of passive drainage measures around the basement structure.

Reason: To ensure satisfactory means of surface water drainage, to reduce the risk of flooding and to comply with the following Development Plan policies for Merton: policy SI 13 of the London Plan 2021, policy CS16 of Merton's Core Planning Strategy 2011 and policy DM F2 of Merton's Sites and Policies Plan 2014.

19 INFORMATIVE

INFORMATIVE

A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer.

20 INFORMATIVE

INFORMATIVE

Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

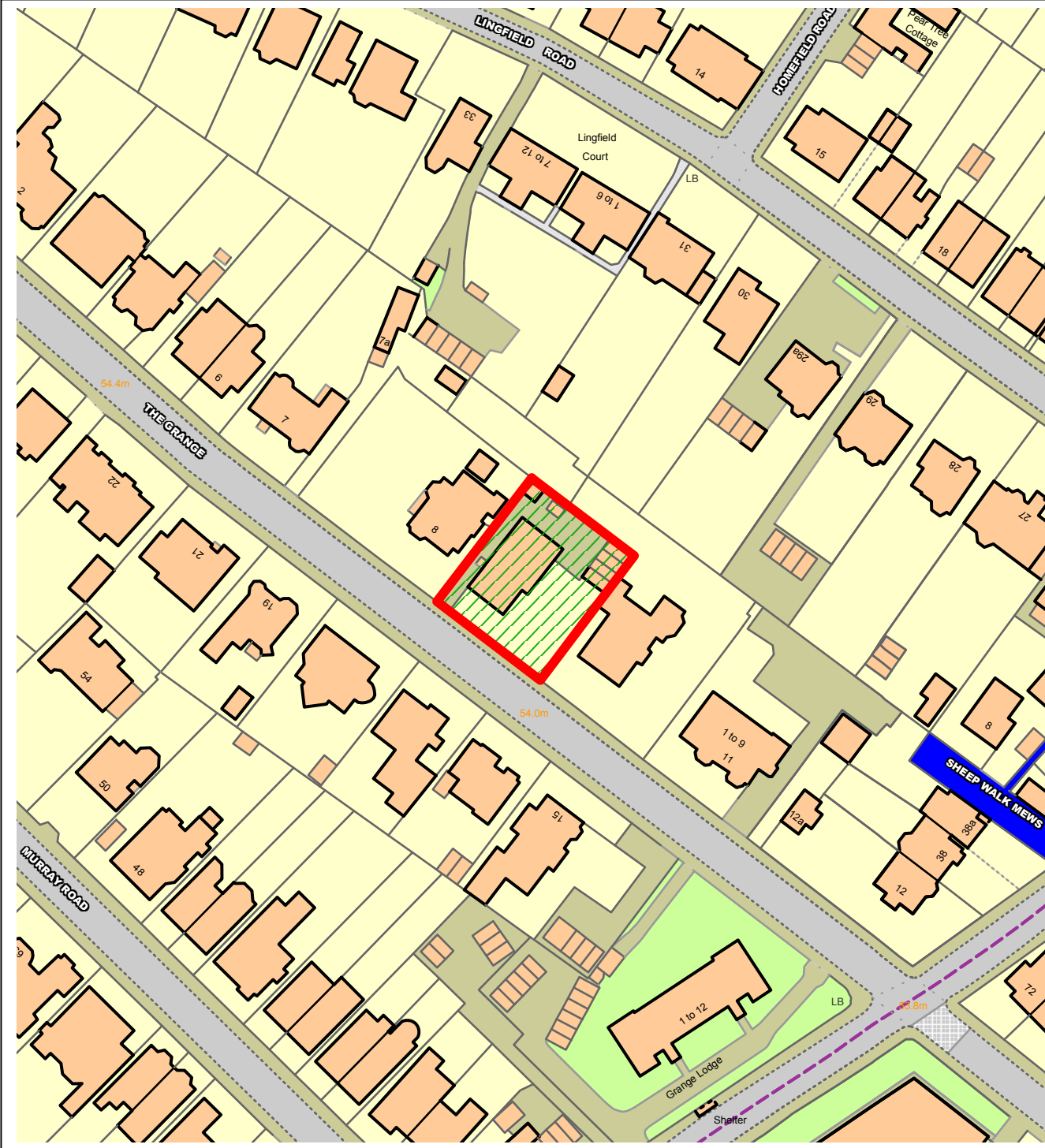
21 INFORMATIVE

INFORMATIVE

No surface water runoff should discharge onto the public highway including the public footway or highway. When it is proposed to connect to a public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required (contact no. 0845 850 2777). No waste material, including concrete, mortar, grout, plaster, fats, oils and chemicals shall be washed down on the highway or disposed of into the highway drainage system.

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NORTHGATE SE GIS Print Template



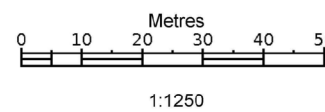
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The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

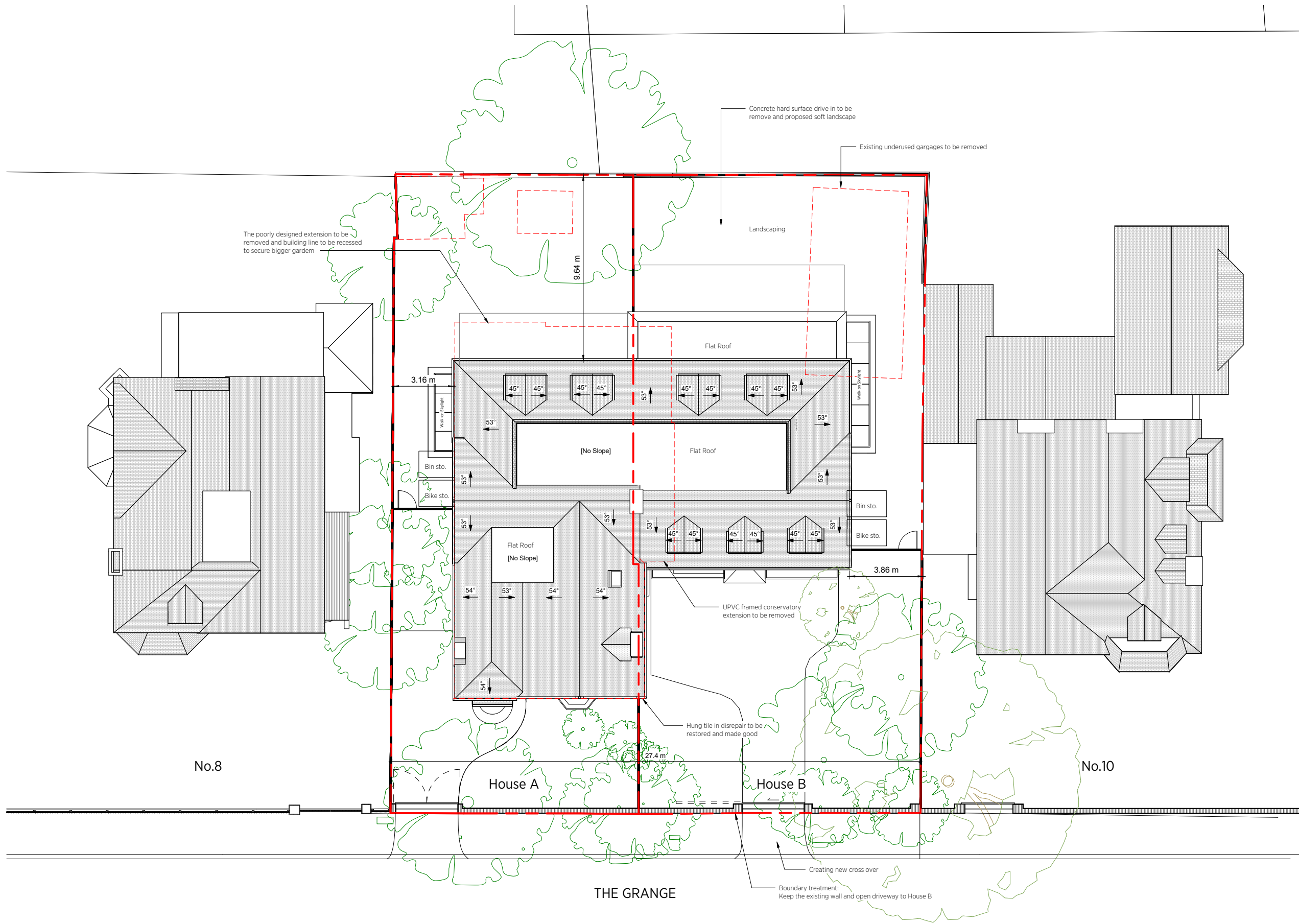


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9, The Grange, London
SW19 4PT

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Centre coordinates: 523922 170856

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Planning Drawing List				
Sheet Number	Sheet Name	Scale on A3	Current Revision	Issue Date
A100	Proposed Site Plan	1:200	-	31.07.20
A101	Proposed Basement and Ground Floor Plans	1:200	-	31.07.20
A102	Proposed First and Second Floor Plans	1:200	-	31.07.20
A103	Proposed Roof Plan	1:200	-	31.07.20
A200	Proposed Sections	1:200	-	31.07.20
A201	Proposed Sections	1:200	-	31.07.20
A300	Proposed Elevations	1:200	-	31.07.20
A310	Proposed Front Boundary Treatment	1:200	-	31.07.20
E100	Existing Site Plan	1:200	-	31.07.20
E101	Existing Basement and Ground Floor Plans	1:200	-	31.07.20
E102	Existing First and Second Floor Plans	1:200	-	31.07.20
E103	Existing Roof Plan	1:200	-	31.07.20
E200	Existing Sections	1:200	-	31.07.20
E300	Existing Elevations	1:200	-	31.07.20
L001	Location Plan	1:1250	-	31.07.20

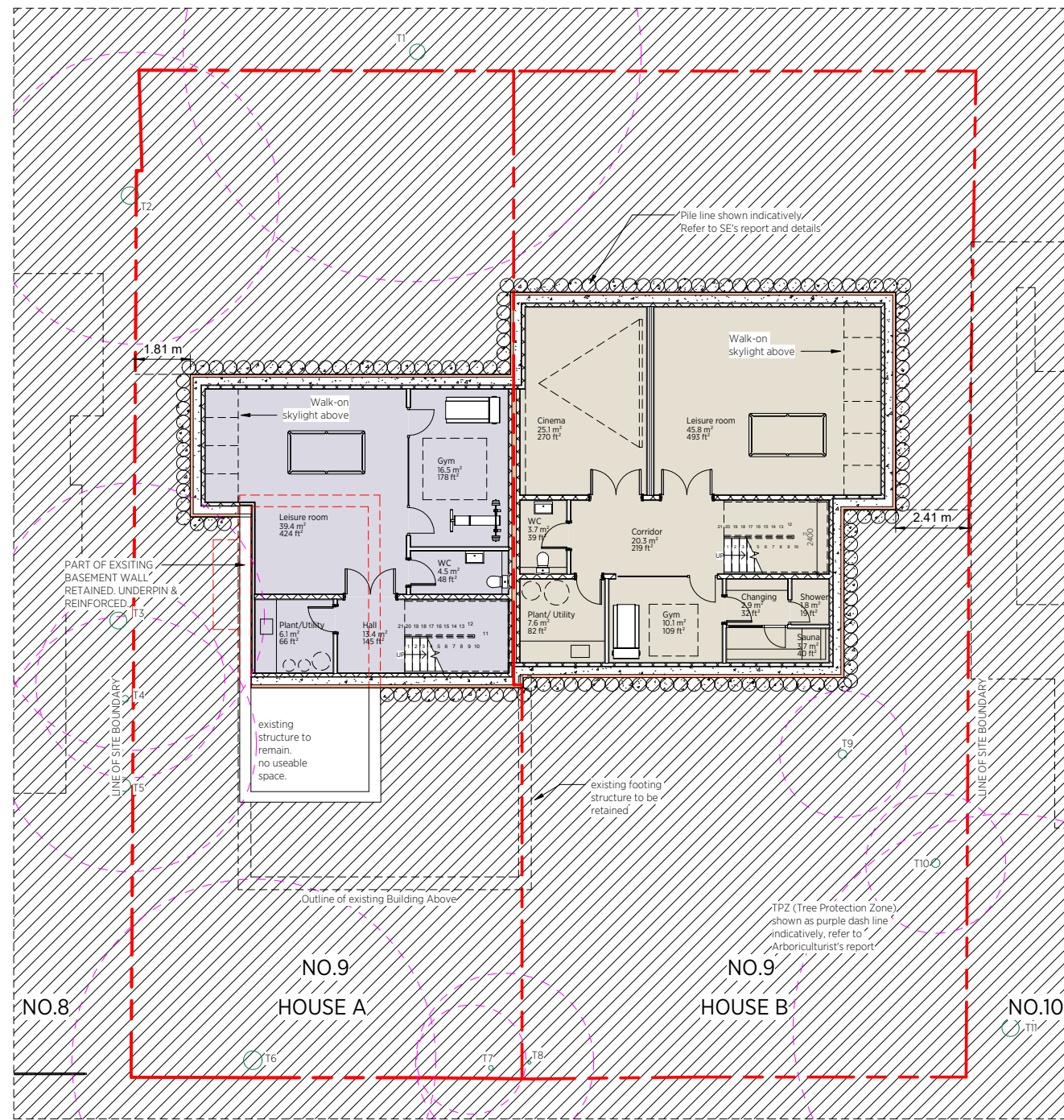


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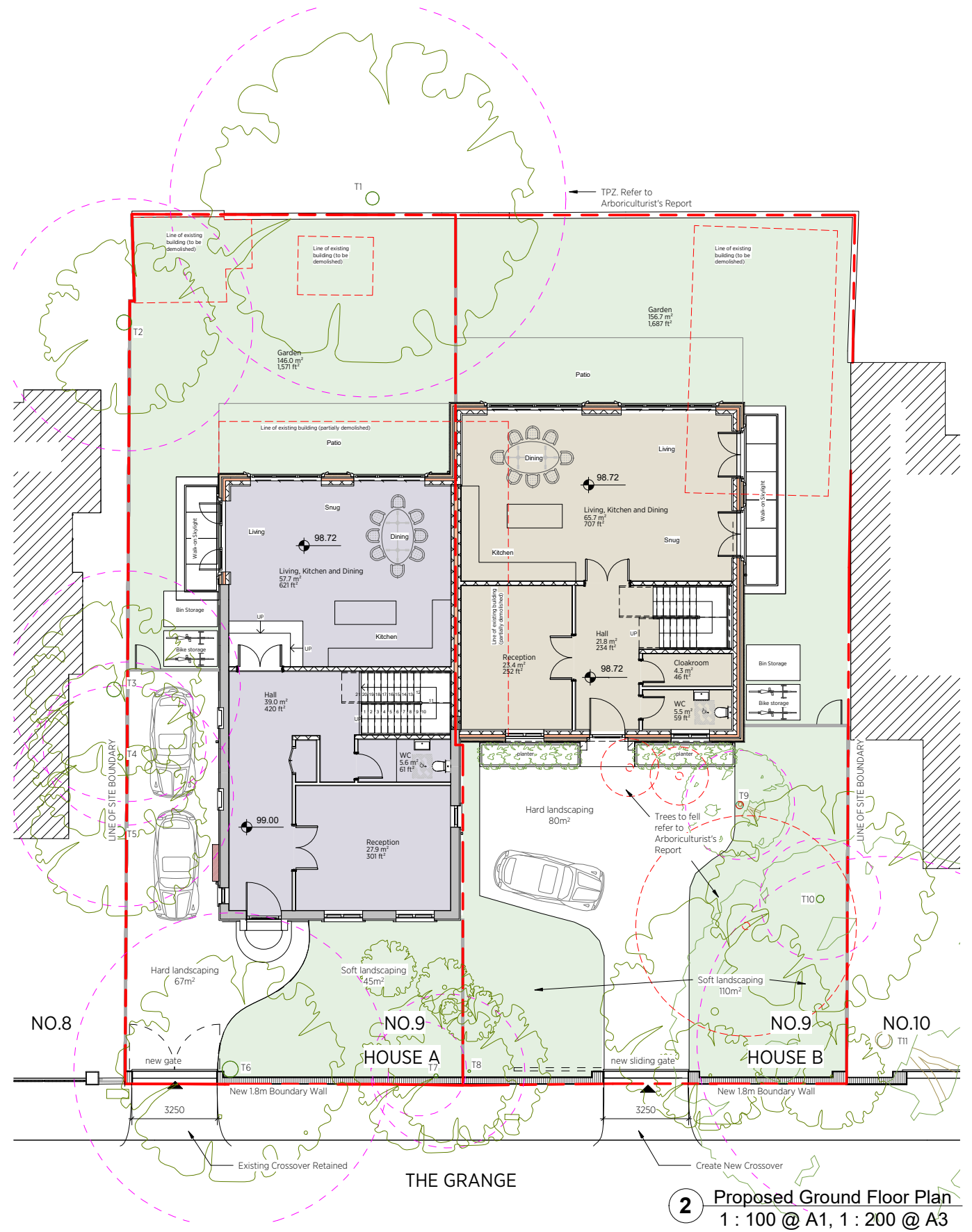
Notes/Legends

Stamp
Planning Application
 Key Plan

Planning Application 31.07.20 SY JL		Date: 18/10/19 Drawn By: SY Checked: JL		Project Ref: 181023 Drawing No: 181023 -A100		Title: Proposed Site Plan	
Rev Notes © JAIA limited	By Date 18/10/19	Chd Date 18/10/19	Scale: 1:100 @ A1 / 1:200 @ A3	Project Ref: 181023	Drawing No: 181023 -A100	Revision: -	JAIA 24 Links Yard 25A Spelman Street London E1 6LX info@jaia.com t: +44 (0)20 7992 9602 www.jaia.com



1 Proposed Basement Plan
1 : 100 @ A1, 1 : 200 @ A3



2 Proposed Ground Floor Plan
1 : 100 @ A1, 1 : 200 @ A3

0 5M

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Notes/Legends

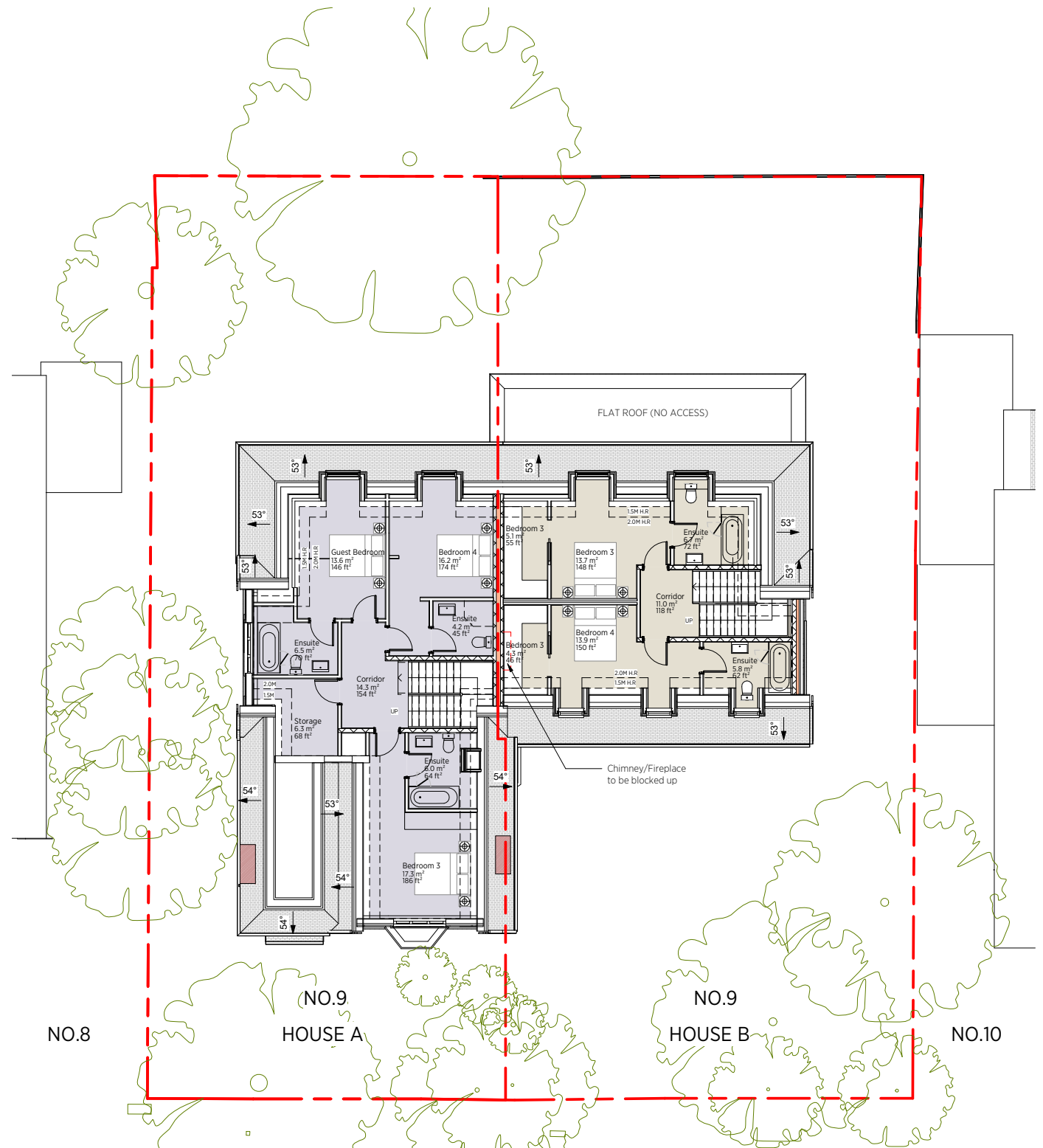
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Planning Application	
Key Plan	

Project	
9 The Grange, Wimbledon, SW19 4PT	
Rev	Notes
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2	18/10/19
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Title	
Proposed Basement and Ground Floor Plans	
Project Ref:	181023
Drawing No:	181023-A101
Revision:	-



2 Proposed First Floor Plan
1 : 100 @ A1, 1 : 200 @ A3



1 Proposed Second Floor Plan
1 : 100 @ A1, 1 : 200 @ A3



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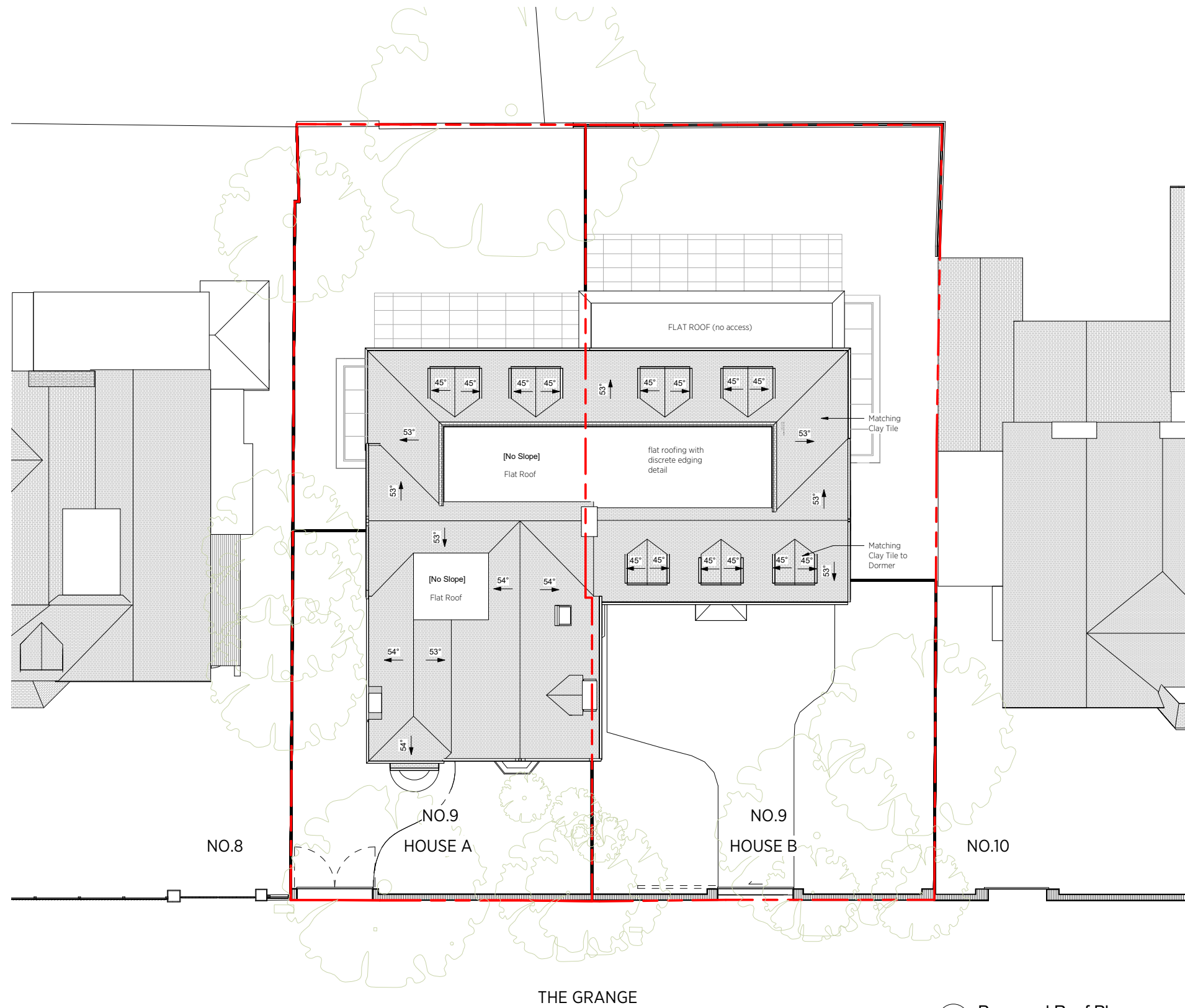
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Project: 9 The Grange, Wimbledon, SW19 4PT		Title: Proposed First and Second Floor Plans	
Rev 1 2 3	Notes 15mm jy 18/10/19	Date: 18/10/19 Drawn By: DY Checked: JL	Project Ref: 181023 Drawing No: 181023-A102 Revision: -
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1 Proposed Roof Plan
1 : 100 @ A1, 1 : 200 @ A3




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Rev	Notes	By	Chkd	Date	Drawn By	Checked
1	Planning Application	31.07.20	SY	JL		

Stamp
Planning Application

Key Plan



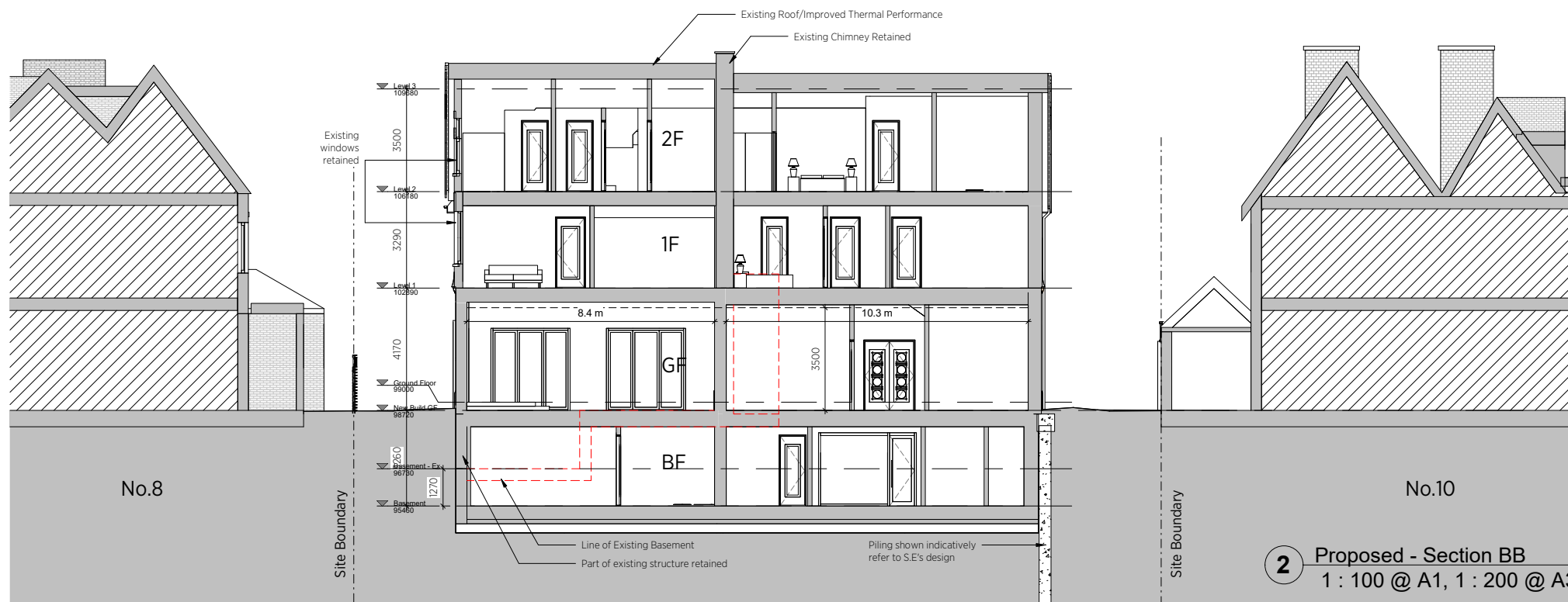
Project:
9 The Grange, Wimbledon, SW19 4PT

Title:
Proposed Roof Plan

Scale: 1 : 100 @ A1 / 1:200 @ A3

Project Ref: 181023	Drawing No: 181023 -A103	Revision: -
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Notes/Legends

Stamp
 Planning Application

Key Plan

Project: 9 The Grange, Wimbledon, SW19 4PT		Title: Proposed Sections	
Rev	Notes	Date: 13/06/19	Drawn By: DY
1		Checked: JL	
Scale: 1 : 100 @ A1 / 1:200 @ A3		Project Ref: 181023	Drawing No: 181023 -A200

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1 Proposed - Section CC
1 : 100 @ A1, 1 : 200 @ A3



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Notes/Legends

Material Code	Material Description
A	Red Facing Brick matching existing
B	Clay tile finish matching existing
C	Clay tiled pitched roof
D	Cast Stone Door Surround and coping
E	Cast Stone Lintel

Material Code	Material Description
F	Timber detail around window matching existing
G	Timber Sash Windows
J	Double glazed aluminium sliding doorset
K	Double glazed French door
L	Timber Front door - traditional style

Material Code	Material Description
O	Timber Fascia
P	Stone Entrance Porch with lead lined finish on top
Q	Timber Fence
U	Heritage Cast Aluminium Rainwater pipe
V	Aluminium Gutter

Stamp
Planning Application

Key Plan

Rev	Notes	By	Chkd	Date	Drawn By	Checked
1		js	js	12/2/19	SY	JL

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Project:
9 The Grange, Wimbledon,
SW19 4PT

Title:
Proposed Elevations

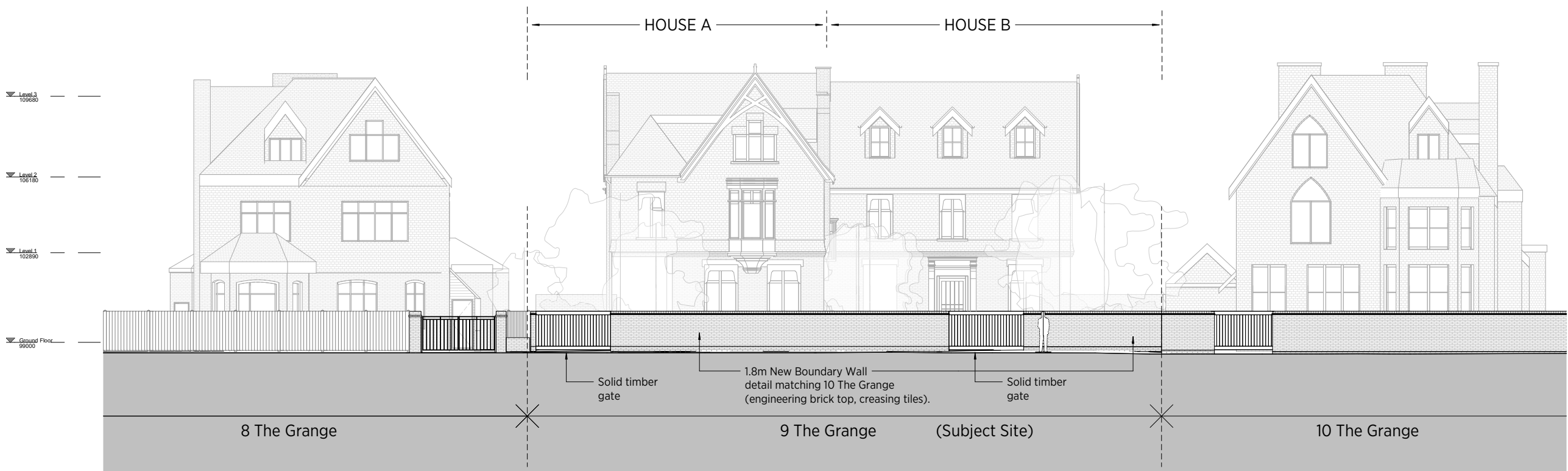
Project Ref: 181023
Drawing No: 181023-A300
Revision: -

Scale: 1:100 @ A1 / 1:200 @ A3

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1 Existing Street Elevation
1 : 100 @ A1, 1 : 200 @ A3



2 Proposed Street Elevation
1 : 100 @ A1, 1 : 200 @ A3



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Notes/Legends

Stamp
Planning Application

Key Plan

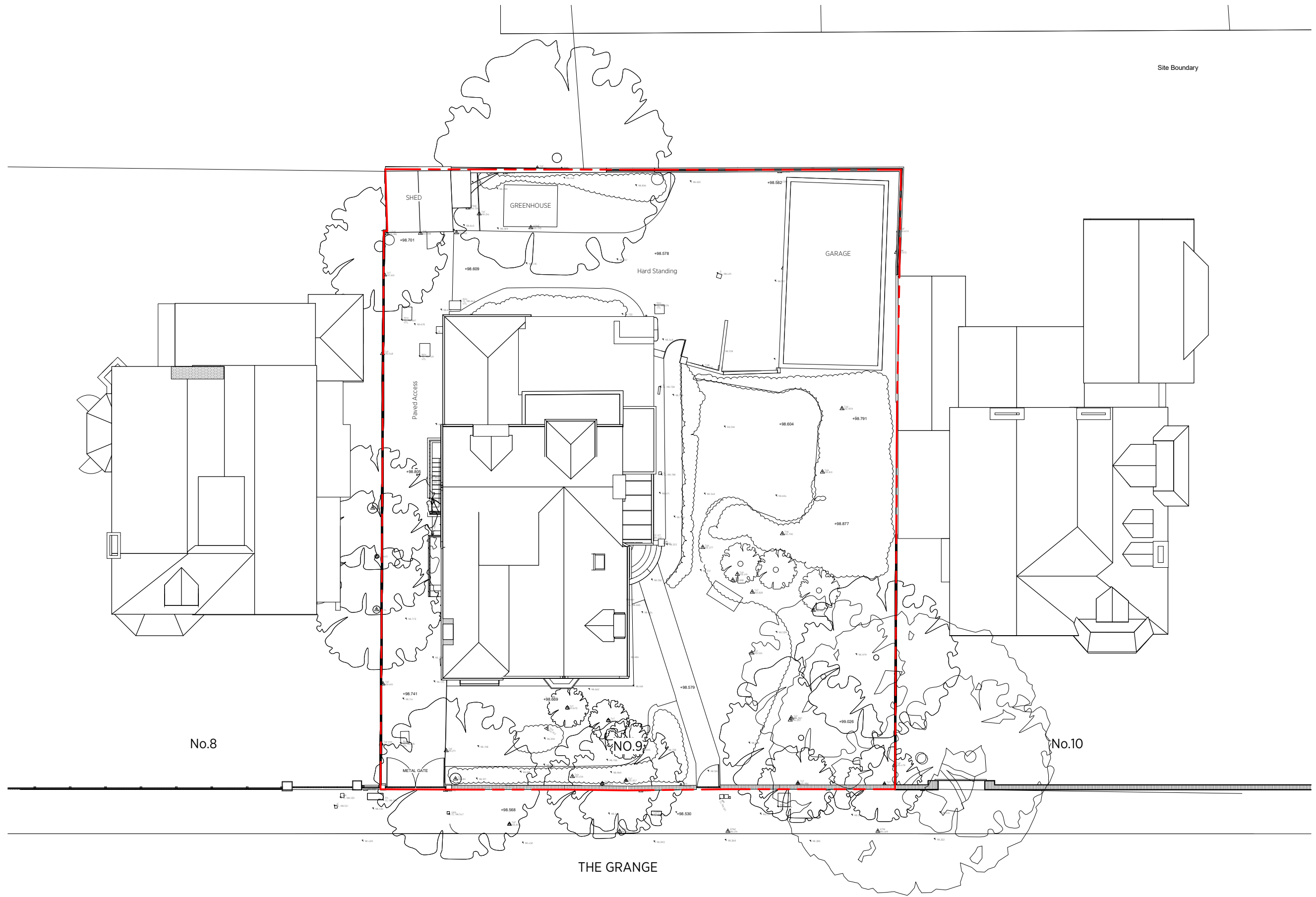
Rev	Notes	By	Chkd

Date:	10/01/19	Drawn By:	DY	Checked:	JL
Scale:	1 : 100 @ A1 / 1:200 @ A3				

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Project:	9 The Grange, Wimbledon, SW19 4PT	Title:	Proposed Front Boundary Treatment
Project Ref:	181023	Drawing No:	181023 -A310
Revision:	-		


Site Boundary



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Planning Application
 Key Plan



Rev	Notes	By	Chkd	Date	Drawn By	Checked

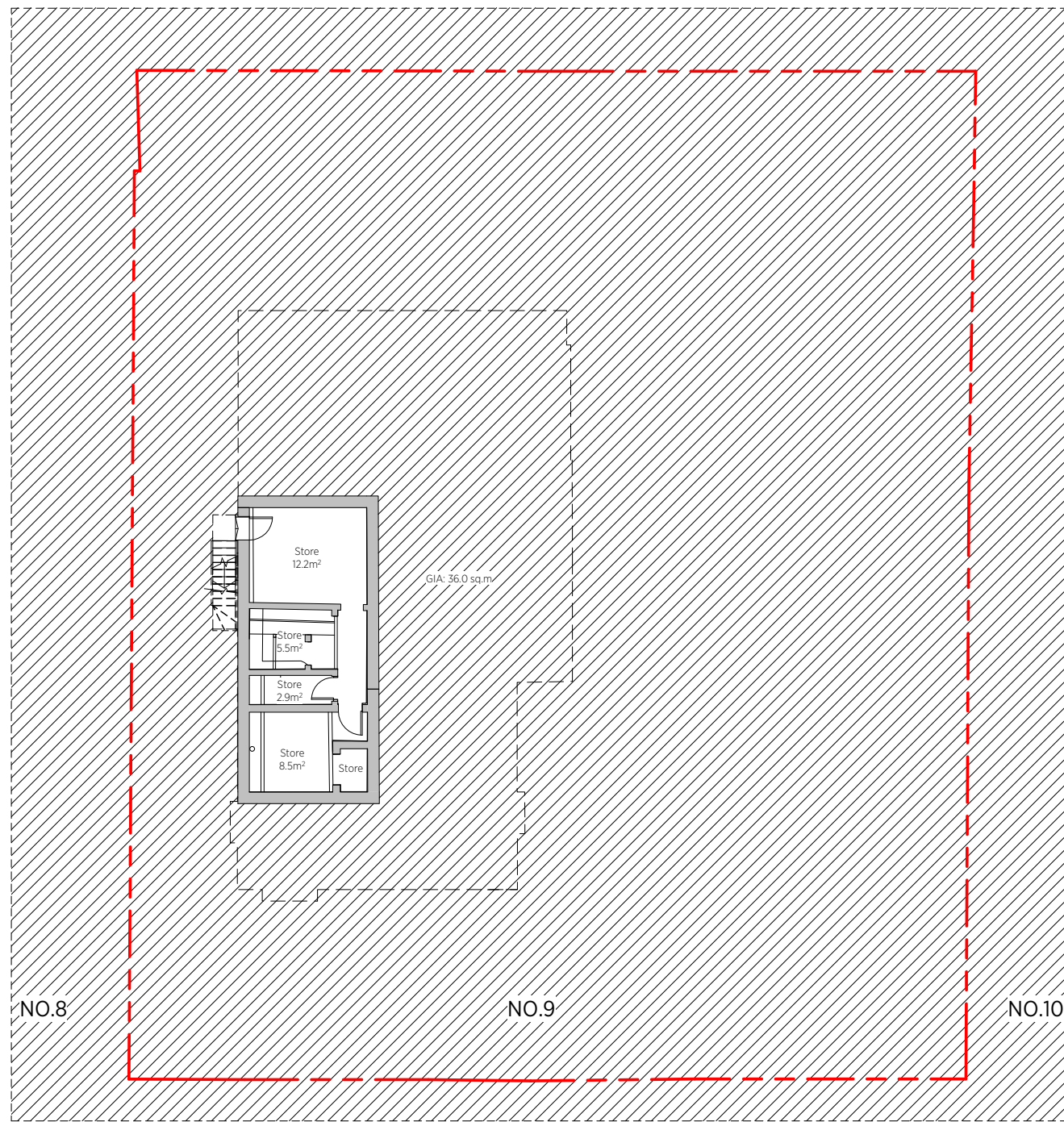
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Project: **9 The Grange, Wimbledon, SW19 4PT**
 Title: **Existing Site Plan**

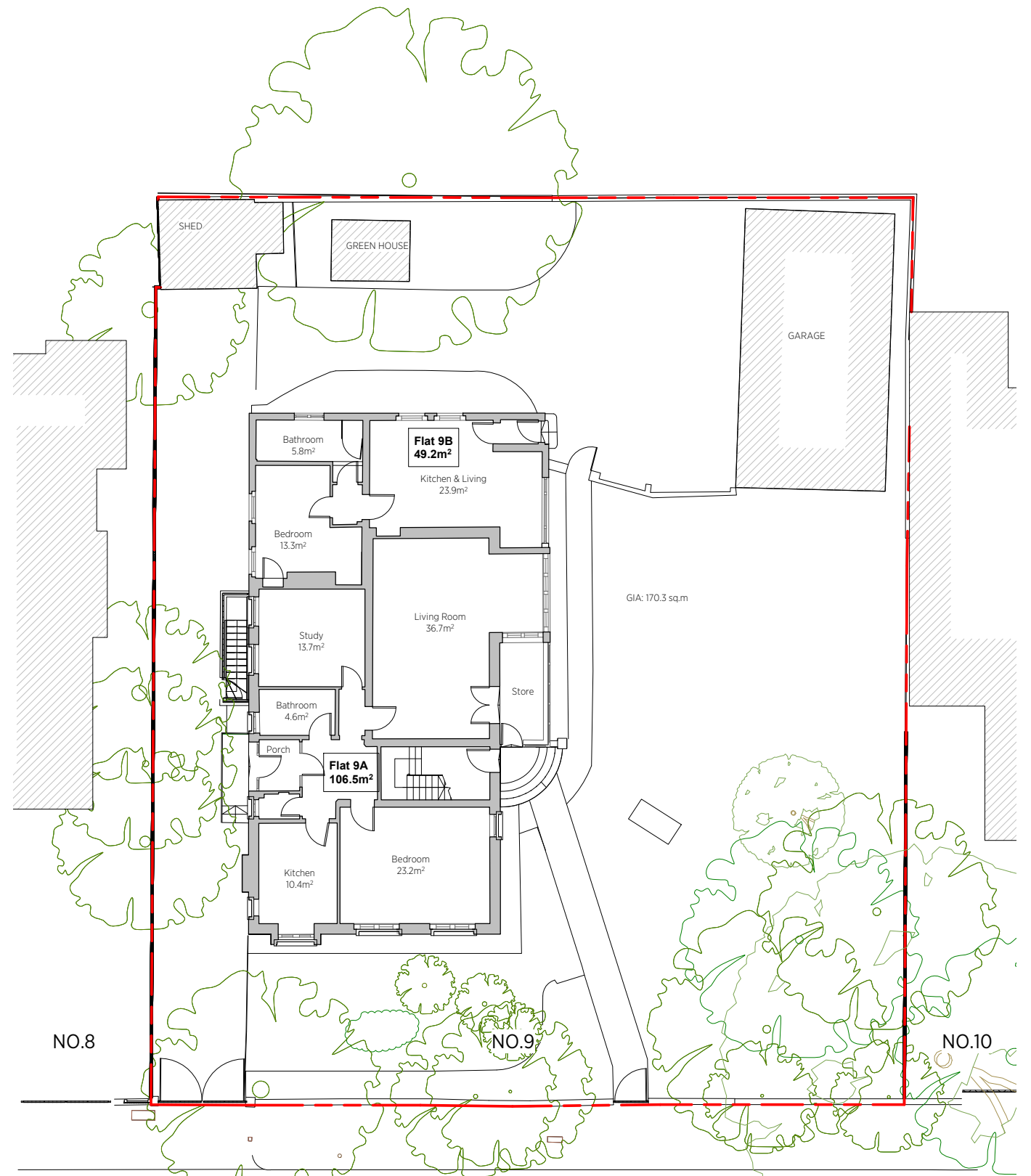
Project Ref:	Drawing No:	Revision:
181023	181023-E100	-

Scale: 1:100 @ A1 / 1:200 @ A3



THE GRANGE

1 Existing Basement Plan
1 : 100 @ A1, 1 : 200 @ A3



THE GRANGE

2 Existing Ground Floor Plan
1 : 100 @ A1, 1 : 200 @ A3



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1		js		18/10/19	DY	JL

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Project: 9 The Grange, Wimbledon, SW19 4PT	Date: 31.07.20	SY	JL
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Title:
Existing Basement and Ground
Floor Plans

Project Ref: 181023	Drawing No: 181023-E101	Revision: -
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THE GRANGE

2 Existing First Floor Plan
1 : 100 @ A1, 1 : 200 @ A3



THE GRANGE

1 Existing Second Floor Plan
1 : 100 @ A1, 1 : 200 @ A3



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Rev	Notes	By	Chkd	Date	Drawn By	Checked
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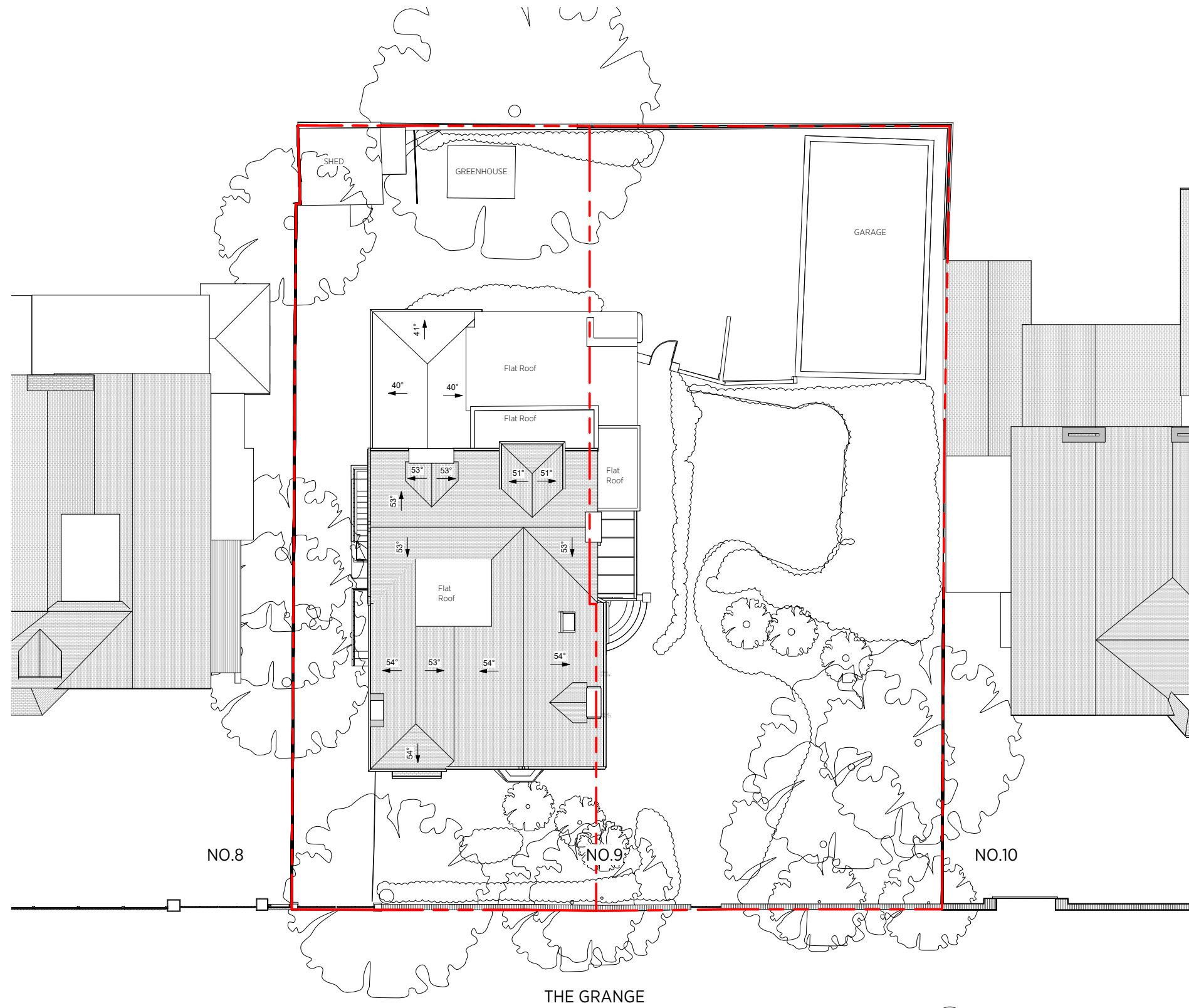
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Project:
9 The Grange, Wimbledon, SW19 4PT

Title:
Existing First and Second Floor Plans

Project Ref:	Drawing No:	Revision:
181023	181023-E102	-

Scale: 1 : 100 @ A1 / 1:200 @ A3



1 Existing Roof Plan
1 : 100 @ A1, 1 : 200 @ A3



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Notes/Legends

Stamp
Planning Application

Key Plan



Rev	Notes	By	Chkd	Date	Drawn By	Checked
				10/01/19	DY	JL

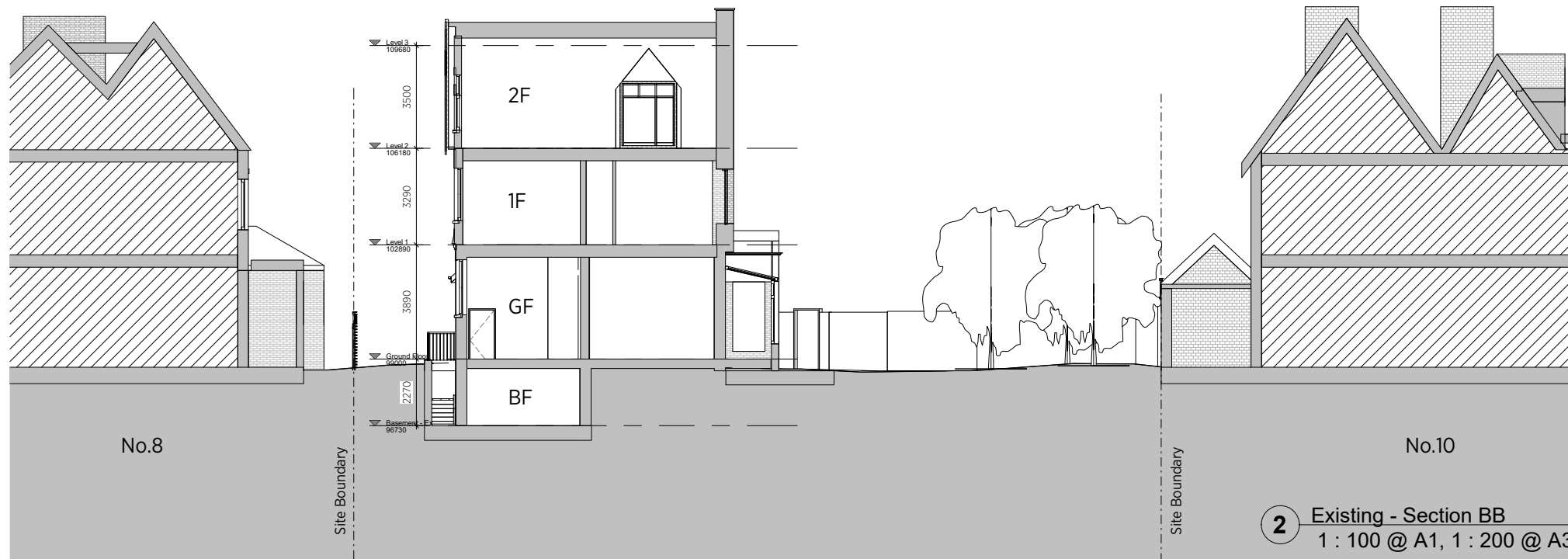
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Title:
Existing Roof Plan

Project Ref:	Drawing No:	Revision:
181023	181023-E103	-

Scale: 1 : 100 @ A1 / 1:200 @ A3



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Project:
9 The Grange, Wimbledon,
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Title:
Existing Sections

Rev	Notes	By	Chkd	Date	Drawn By	Checked	Project Ref:	Drawing No:	Revision:
				07/16/20	DY	JL	181023	181023-E200	-

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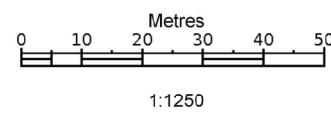
Notes/Legends

Stamp Planning Application			
Key Plan		Project: 9 The Grange, Wimbledon, SW19 4PT	
Title: Existing Elevations		Project Ref: 181023 Drawing No: 181023-E300	
Rev Notes © JAIA limited	31.07.20 SY JL 05mm.jy By Chd	Date: 12/2/19 Drawn By: DY Scale: 1 : 100 @ A1 / 1:200 @ A3	Checked: JL Revision: -



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N
9, The Grange, London
SW19 4PT

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Centre coordinates: 523922 170856

New piled retaining wall shown indicatively. Augured concrete piling method (non-percussive) will be adopted to minimise the disruption to the surrounding ground and ensure that the impact on the adjoining properties is minimal. (Assumed diameter 450mm. TBC by the piling contractor)

RC liner wall in watertight concrete (250mm thick assumed)

Junction between underpinning works to the existing building walls to be retained and the piled retaining wall to be designed by a suitably qualified and experienced engineer to avoid differential settlement and water ingress

New basement slab in watertight concrete construction

Junction between underpinning works to the existing building walls to be retained and the piled retaining wall to be designed by a suitably qualified and experienced engineer to avoid differential settlement and water ingress

A suitably qualified and experienced engineer will be appointed to design the underpinning works to the existing building facades to be retained. The engineer will also design temporary works for the façade retention. A competent contractor will carry out the façade retention works, underpinning works and carefully demolish the existing buildings ensuring that dust and vibration is controlled at all times.

Issued on 31 July 2020

Rev. Date Description



201 Borough High Street, London, SE11JA
Website: www.design4structures.com
Email: hello@design4structures.com
Tel No: 02079934348

Client JAIA Architects

Contract 9 The Grange

Title
Outline Basement Structural Proposal

Drawn RMC Date July 2020 Scale @A1 NTS

Drawing No. D4S4347 SK02

PLANNING APPLICATIONS COMMITTEE

29 April 2021

<u>APPLICATION NO.</u>	<u>DATE VALID</u>	<u>Item no:</u>
20/P2774	03/09/2020	
Address/Site	3 Hamilton Road, South Wimbledon, SW19 1JD	
Ward	Abbey	
Proposal:	ERECTION OF A SINGLE STOREY REAR AND SIDE INFILL EXTENSION AND EXACAVATION OF A BASEMENT LEVEL EXTENSION WITH INSTALLATION OF 1 x LIGHT WELL GRILLE TO FRONT OF PROPERTY AND 1 x GLAZED TO REAR.	
Drawing Nos	6777/SK04 Revision C, 6777/SK03 Revision C, 2019-023-401, 2019-023-402, 2019-023-403, 2019-023-404, 2019-023-405, 6777/SK12 Revision B, 6777/SK11 Revision B, Report on a Site Investigation (Ref: 20/11866/GO), 2019-023-LP, 2019-023-406, Flood Risk Assessment (FRA), Sustainable Urban Drainage Systems (SuDS) & Mitigation 3 Hamilton Road, Wimbledon, London SW19 1JD (Project Ref: QFRA 1679, Date: 05/05/2020), ENGINEERING DESIGN & IMPACT STATEMENT FOR BASEMENT DEVELOPMENT at 3 Hamilton Road London SW19 1JD August 2020), 6777/SK01 Revision B, 6777/SK02 Revision C, Arboricultural Impact Assessment Method Statement & Tree Protection Plan (to BS:5837 2012) Ref: TH 2734	
Contact Officer:	Charlotte Gilhooly (020 8545 4028)	

RECOMMENDATION

GRANT Planning Permission subject to conditions

CHECKLIST INFORMATION.

- Conservation Area- No
- Area at risk of flooding - No
- Local Development Plan site proposal designation - None
- Controlled Parking Zone - Yes
- Trees - Yes
- Listed Building - No

- Is a Screening Opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: No
- Site notice: No
- Design Review Panel consulted: No
- Number of neighbours consulted: 4

1. INTRODUCTION

1.1 This application has been brought to the Planning Applications Committee for determination due to the nature and number of objections received. It should be noted the application was originally heard at Planning Committee on 11th February 2021. Members raised concern regarding the impact on a street tree at the front. Having considered all of the information before them, Members' were minded to defer the application pending submission of an Arboricultural Impact Assessment and Tree Survey to be carried out by the applicant. Since the February Planning Committee meeting, an Arboricultural Impact Assessment, Method Statement and Tree Protection Plan has been carried out by the applicant and was subject to a re-consultation with neighbours.

2. SITE AND SURROUNDINGS

2.1 The application site comprises a two storey terraced dwelling which is located on the east side of Hamilton Road in South Wimbledon. Hamilton Road is residential in character made up of largely symmetrical traditional properties. The current property is a single family dwelling which has four bedrooms with an existing rear roof extension. The building is not located within a Conservation Area and nor is it listed. There is a tree in the rear garden and a street tree near to the site. There are no further constraints on the site.

3. CURRENT PROPOSAL

3.1 This application seeks planning permission for the erection of a rear and side infill single storey extension and a basement which would extend across the footprint of the existing house and underneath the proposed rear extension. The proposal would be made up of the following dimensions:

- Single storey rear and side infill extension: 5m wide, 10.86m deep on the south side and 4m deep on the north side, with an eaves height of 2.37m and a maximum roof height of 3.05m.
- Basement: 4.87m wide, 3.37m high and 23.30m in length.
- Light well front elevation: 2.21m deep and 4.95m wide.
- Lightwell rear elevation: 1.6m deep and 4.09m wide

Materials include bricks to match existing, slate roof tiles, timber framed sliding sash windows and powder coated aluminum doors.

- 3.2 *Amended Plans:* The scheme was amended on 17/11/20. This was in response to the Flood Risk Officer's comments below who requested more thought was given to creating a waterproof membrane around the proposed basement.

4. **PLANNING HISTORY**

- 20/P0217: APPLICATION FOR A LAWFUL DEVELOPMENT CERTIFICATE IN RESPECT OF THE PORPOSED ERECTION OF A REAR ROOF EXTENSION ABOVE OUTRIGGER. ISSUE CERTIFICATE OF LAWFULNESS 12-03-2020.
- 20/P0212: REPLACEMENT OF REAR ROOF EXTENSION. GRANT PERMISSION SUBJECT TO CONDITIONS 12-03-2020.

5. **CONSULTATION**

5.1 EXTERNAL

Consultation letters were sent to neighbouring properties. Between September 2020 and November 2020, 21 representations have been received raising objection and 9 providing comment which are summarised below:

- Concern over structural stability of property. Many of the houses in this road are over 100 years old, built in the 19th Century and not designed for basements.
- Concern on the impact the basement will have on flooding, drainage and impact to the water table.
- The proposed basement and lightwell is out of character for the street and will set a precedent.
- Concern over potential damage to tree as a result of the basement
- The construction process will cause significant disruption for residents especially as the road is a no through road/
- The proposed lightwell will be visible from the front elevation due to the short front gardens in the road. Screening will not be possible. As such it will have a detrimental impact on the character of the area.
- I have lived here for 74 years. Loft extensions are acceptable in this road but basements – no. We should be taking note of what David Attenborough is telling us all.
- The applicant has not yet displayed a site notice.
- The buildings in Hamilton Road were not designed with basements in mind. The proposals could cause damage to the other terrace of houses in this road.
- There have been no other basements in Hamilton Road.

- Construction vehicles will have a detrimental impact on parking in the area as parking is already at capacity.
- The size of the basement is inappropriate and not safe for the area.
- Will there be a traffic management plan? The construction of the basement will cause considerable stress as a result of noise, vibration and dust for residents.
- The proposal is unsustainable.
- The proposal will have a detrimental impact on residents mental health, particularly during the pandemic when many people are working from home.
- Residents insurance premiums will increase as a result of the proposal.
- There is a history of subsidence in the area and my property and 7 Hamilton Road has already had to be underpinned.

Officers Response:

If the application is approved, applicant will need to submit a Building Control application to ensure the works are constructed safely and structurally sound.

Since the application was deferred at the Planning Committee in February, two more representations have been received which are summarized below :

- The proposal will set a precedent for the area which is not in keeping with the character of the site and surrounding area.
- The proposal is not appropriate for this road.
- Previous applications at 16 and 101 Hamilton Road were refused so I do not see how this application is different?

5.2 INTERNAL CONSULTATIONS

Council's Structural Engineer

I have now reviewed the Impact Design Statement along with the Geotechnical report, and the drawings. It demonstrates that the proposed basement works can be undertaken safely without adversely affecting the stability of the highway.

Should you be minded to recommend approval, we would advise that the following conditions are placed on the decision notice and the works shall not commence until these conditions have been discharged by the Council.

- a) Detailed Construction Method Statement and construction/excavation sequence produced by the respective Contractors responsible for the underpinning, excavation and construction of the basements. This shall be reviewed and agreed by the Structural Engineer designing the basement.
- b) Design calculations, drawings, propping and de-propping sequence of the temporary works supporting the highway and adjoining properties, required to

facilitate excavation and underpinning.

- c) Design calculation and drawings (plan and sections) of the underpinned retaining wall and the light well retaining wall. The design has to be undertaken in accordance with Eurocodes. We would recommend using full height hydrostatic pressure and at-rest soil pressures for the design of all retaining walls and a minimum highway loading surcharge of 10 KN/m² and 20 KN/m² if the adjacent highway has abnormal load traffic movement.
- d) Movement monitoring report produced by specialist surveyors appointed to install monitoring gauges to detect any movement of the highway/neighbouring properties from start to completion of the project works. The report should include the proposed locations of the horizontal and vertical movement monitoring, frequency of monitoring, trigger levels, and the contingency measures for different trigger alarms.

5.3 Council's Flood Risk Officer

From the revised submission I can see that they have now ensured all plans indicate the need to waterproof the basement so I'm putting a condition on that they provide exact details for discharge of conditions.

Condition:

Prior to the commencement of development, the applicant shall submit a detailed proposal on how drainage and groundwater will be managed and mitigated during and post construction (permanent phase), for example through the implementation of passive drainage measures around the basement structure.

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy 5.13.

5.4 Council's Transport and Highways Officer

The proposed development will be formed predominantly underneath the footprint of the existing house. There will be no impact on the adjoining highway.

Recommendation: Raise no objection subject to:

Demolition/Construction Logistic Plan (including a Construction Management plan in accordance with TfL guidance) should be submitted to LPA for approval before commencement of work.

5.5 Environmental Health Officer:

We recommend two-conditions regarding contaminated land:

- 1) A preliminary risk assessment, then an investigation shall be undertaken to consider the potential for contaminated-land, and if necessary, a detailed

remediation scheme to bring the site to a suitable state for the intended use by removing unacceptable risks to health and the built environment, and submitted to the approval of the LPA. Reason: To protect the health of future users of the site in accordance with policy 5.21 of the London Plan 2016 and policy DM EP4 of Merton's sites and policies plan 2014.

- 2) The approached remediation shall be completed prior to completion. And a verification report, demonstrating the then effectiveness of the remediation, subject to the approval of the LPA. Reason: To protect the health of future users of the site in accordance with policy 5.21 of the London Plan 2016 and policy DM EP4 of Merton's sites and policies plan 2014.

5.6 Council's Tree and Landscape Officer

Having reviewed the submitted Arboricultural Impact Assessment report – no objections, subject to conditions:

Tree Protection: The details and measures for the protection of the existing trees as specified in the hereby approved document 'Arboricultural Impact Assessment Method Statement & Tree Protection (to BS5837:2012)' reference 'TH2734' dated '10 March 2021' shall be fully complied with. The methods for the protection of the existing trees shall fully accord with all of the measures specified in the report including site supervision and monitoring the progress of site works.

Reason: To protect and safeguard the existing trees in accordance with the following Development Plan policies for Merton: policy 7.21 of the London Plan 2015, policy CS13 of Merton's Core Planning Strategy 2011 and policies DM D2 and 02 of Merton's Sites and Policies Plan 2014.

No work shall be commenced until details of the proposed design, materials and method of construction of the foundations to be used within 4m of the existing retained tree(s) shall be submitted to and approved in writing by the Local Planning Authority and the work shall be carried out in accordance with the approved details.

Reason: To protect and safeguard the existing trees in accordance with the following Development Plan policies for Merton: policy 7.21 of the London Plan 2015, policy CS13 of Merton's Core Planning Strategy 2011 and policies DM D2 and 02 of Merton's Sites and Policies Plan 2014.

5.7 Council's Street Tree Officer

Having read through the most relevant sections of Trevor Heaps Arb Report & would echo, as is stated that:

If minded to approve, then it should be conditioned that development should be implemented in accordance with the Tree Protection recommendations in the Report.

Insofar as this is related to the street trees, the London Plane & neighbouring Lime will not be adversely affected.

At 9.4.2 – Individual tree protection, by way of wooden ply-boards, constructed in box-sections to encompass the stem of the London Plane, is noted. This is welcomed as good practice & this should, ideally, be erected around the Lime also.

9.5.5 – Agreed that the incursion into the Root Protection Area (R.P.A) of the London Plane is not regarded as significant and unlikely to cause harm. Both trees are robust species noted for endurance in the urban realm.

The need for facilitation pruning is noted & those Easterly lateral branches could be lightly pruned via tip reduction. Or, as the Report states, it may be that Greenspaces, if approached, would agree to the L.P being repollarded, both from an arb p.o.v & especially if it did not pull on their meagre tree pruning budget.

You may wish to ping Kevin Hawkes an email on this particular point, as I'm sure he'd be interested in this suggestion.

Pursuant to all the above, I have no objections.

6. **POLICY CONTEXT**

National Planning Policy Framework (2019)

Part 7 Requiring Good Design

London Plan (2021)

Relevant policies include:

- Policy D3 Optimising site capacity through the design-led approach
- Policy D4 Delivering good design
- Policy D10 Basement development
- Policy G7 Trees and woodlands

Merton Local Development Framework Core Strategy (2011)

Relevant policies include:

- CS14 Design
- CS15 Climate Change
- CS16 Flood Risk Management

Merton Sites and Policies Plan (2014)

- DM D2 Design considerations in all developments
- DM D3 Alterations and extensions to existing buildings
- DM F2 Sustainable urban drainage systems (SuDS) and; Wastewater and Water Infrastructure

Supplementary planning guidance

- London Plan Housing SPG – 2016
- Basement and Subterranean SPD 2017

7 **PLANNING CONSIDERATIONS**

The planning considerations for extensions, alterations and a basement to an existing dwelling relate to the impact of the proposal on the character and appearance of the host building along with the surrounding area, flood risk, trees and the impact upon neighbouring amenity.

7.1 **Character and Appearance**

London Plan policies D3 and D4, Core Strategy policy CS14 and SPP Policies DMD2 and DMD3 require well designed proposals that are of the highest architectural quality and incorporate a design that is appropriate to its context, so that development relates positively to the appearance, scale, bulk, form, proportions, materials and character of the original building and their surroundings, thus enhancing the character of the wider area.

7.2 Single storey rear and side infill extension

The proposed single storey rear and side infill extension is of a scale, form and appearance which is considered acceptable to the character of the site and surrounding area. The proposal would have a pitched roof with a minimal eaves height of 2.37m and a maximum roof height of 3.05m. It would extend by 4m beyond the existing outrigger on the west side and by 10.86m on the east side (side infill extension). Materials include bricks to match existing, slate roof tiles, timber framed, sliding, sash windows and powder coated aluminum doors. As such the proposed rear and side infill extension is not considered to appear bulky or incongruous for the site. This part of the proposal is therefore considered to be visually acceptable.

7.3 Basement

The proposed basement would be located underneath the existing dwelling and would extend underneath the proposed rear and side infill extension. In addition it would take up less than 50% of either the front or rear garden. The Council's adopted policy on basements does not resist the provision of a basement that covers the full footprint of the dwelling. As such this element of the proposal is considered compliant with policy DM D2 of Merton's Sites and Policies Plan.

7.4 Lightwells

It is noted in the representations received there is some concern over the proposed lightwells and the impact it would have on the character of the area.

7.5 The proposed lightwell at the front of the site would have a metal grill constructed over it. At the rear the lightwell will have a glass walk over. Although the front gardens in this road are relatively short and would be visible from the streetscene,

the proposed lightwell would not be incongruous or visually intrusive as it would be set at ground level and the bay below would match the bay above in terms of design and materials. As such this element of the proposal is considered acceptable.

7.6 Overall, the proposals are considered acceptable to the character of the site and surrounding area.

7.7 **Neighbouring Amenity**

SPP Policy DM D2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion and noise.

7.8 The properties which have the potential to be affected by the proposal include 1 and 5 Hamilton Road and 5 and 7 Hardy Road.

7.9 1 Hamilton Road

It is noted this neighboring property does not have an existing rear extension.

Due to the minimal eaves height of the proposed rear and side infill extension and taking into account the high existing boundary wall between these neighboring properties, the proposal is not considered to be overbearing, visually intrusive, or result in a loss of privacy or loss of daylight/sunlight. The rear extension would extend 1.0 m beyond the boundary wall and officers consider that this extra depth would not cause material harm.

7.10 5 Hamilton Road

This neighboring property has an existing rear and side infill extension of a similar depth to the proposal. The proposed extension would have a taller parapet wall than this neighboring properties infill extension. Although this will result in some visibility of the parapet wall from the roof lights of the extension at number 5, it is not considered to cause a harmful impact in terms of light and outlook. As such, the proposal is not considered to be overbearing, visually intrusive or result in a loss of daylight/sunlight.

7.11 5 and 7 Hardy Road

There is a separation distance between the rear wall of the proposed extension and the rear wall of these neighbouring properties of approximately 22m. The proposal is also single storey. As such the proposal is not considered to have a detrimental impact on these neighbours amenity.

7.12 **Flood Risk**

A number of representations have been received concerning the impact of the proposed basement construction on drainage and structural stability. However, the applicant has provided an Engineering Design and Impact Statement (informed by

Site Investigation Report) prepared by a qualified structural engineer and the report outlines that there are not identified special structural risks outside of what would normally be expected in a project of this type. The Council's Structural Engineer has reviewed the proposal and is satisfied that the basement can be constructed in a safe manner, subject to a number of submission of further details via planning condition. This includes the requirement to install monitoring gauges to detect any movement of the highway/neighbouring properties from start to completion of the project works.

7.13 Further, the applicants Statement also assesses the impact of flood risk and concludes that the impact from flood risk is low and that flood resilient measures would be implemented for the basement. A formal Flood Risk Assessment has also been undertaken and submitted with the application. The Council's Flood Risk Officer has no objections to the proposal subject to submission of details via condition on how drainage and groundwater will be managed being imposed on any grant of planning permission. The proposed basement is therefore considered to be acceptable in term of policy DM D2.

7.14 **Trees**
There is one tree in the rear garden of the application site and a street tree at the front of the site. The tree in the rear garden is sited toward the end of the rear garden, away from the house, and is a Magnolia tree. The tree to the front is a street tree and is a London Plan tree. Since deferral at the February Planning Committee meeting, the applicants have submitted an Arboricultural Impact Assessment, Method Statement & Tree Protection Plan. The Council's Tree Officers have reviewed the submitted information and have recommended the conditions below to ensure the street tree is protected during construction.

7.15 **Parking and highways**

The proposal would result in a lightwell being at the front of the property. The front of the property currently comprises a hardstanding area which can accommodate 1 parked car. The plans show the lightwell would extend 1.4 m from the front bay window. Some concerns were expressed at the February Planning Committee meeting from Councillors regarding whether the parking can be retained. Since this meeting, officers have assessed whether it is likely that a car would be able to park on the front of the site with the proposed lightwell and consider that as only a distance of 2.5 m of hardstanding would be retained at the front up to the start of the public pavement, officers consider that it is likely that a car would not be able to park on site at the front. Notwithstanding this, the likely loss of 1 parking space on site is not considered to be significant in terms of the effect on the parking on street. The site lies within a high PTAL score of 4 which provides good opportunities and access to public transport options. Further, new London Plan Policy T6.1 outlines that the

maximum parking provision for a new residential unit of 3+ bedrooms in PTAL 4 areas should be up to 0.5-0.75 spaces per dwelling. Although the proposal does not seek a new dwelling, officers consider the loss of the space can not be resisted by the Council as there is a clear steer away from on-site parking provision in the new London Plan policy.

8 **CONCLUSION**

The scale, form, design, positioning and materials of the proposals are not considered to have an undue detrimental impact on the host building, the character of the area, neighbouring amenity or flood risk. Therefore, the proposal complies with the principles of policies DMD2 and DMD3 of the Adopted SPP 2014, CS 14 of the LBM Core Strategy 2011 and D3, D4 G7 of the London Plan 2021.

9 **RECOMMENDATION**

Grant permission subject to the conditions below:

1. A1 Commencement of Development
2. A7 Approved Plans: The development hereby permitted shall be carried out in accordance with the following approved plans: [6777/SK04 Revision C, 6777/SK03 Revision C, 2019-023-401, 2019-023-402, 2019-023-403, 2019-023-404, 2019-023-405, 6777/SK12 Revision B, 6777/SK11 Revision B, Report on a Site Investigation (Ref: 20/11866/GO), 2019-023-LP, 2019-023-406, Flood Risk Assessment (FRA), Sustainable Urban Drainage Systems (SuDS) & Mitigation 3 Hamilton Road, Wimbledon, London SW19 1JD (Project Ref: QFRA 1679, Date: 05/05/2020), ENGINEERING DESIGN & IMPACT STATEMENT FOR BASEMENT DEVELOPMENT at 3 Hamilton Road London SW19 1JD August 2020), 6777/SK01 Revision B, 6777/SK02 Revision C, Arboricultural Impact Assessment Method Statement & Tree Protection (to BS5837:2012) reference 'TH2734' dated '10 March 2021']

Reason: In the interests of proper planning

3. B3 External materials as specified: The facing materials to be used for the development hereby permitted shall be those specified in the application form unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance of the development and to comply with policy D3 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

4. D11 Construction times: No demolition or construction work or ancillary activities such as deliveries shall take place before 8am or after 6pm Mondays - Fridays inclusive, before 8am or after 1pm on Saturdays or at any time on Sundays or Bank Holidays.

Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with policy DM EP2 of Merton's Sites and Policies Plan 2014.

5. H13 Construction Logistics Plan to be submitted: Prior to the commencement of the development hereby permitted, a Construction Logistics Plan (including a Construction Management plan in accordance with TfL guidance) shall be submitted to and approved in writing by the Local Planning Authority. The approved measures shall be implemented for the duration of the construction process and shall be so maintained, unless the prior written approval of the Local Planning Authority is first obtained to any variation.

Reason: To ensure the safety of pedestrians and vehicles and the amenities of the surrounding area and to comply with the following Development Plan policies for Merton: policies 6.3 and T7 of the London Plan 2021, policy CS20 of Merton's Core Planning Strategy 2011 and policy DM T2 of Merton's Sites and Policies Plan 2014.

6. Non Standard Condition: Prior to the commencement of development, the applicant shall submit a detailed proposal on how drainage and groundwater will be managed and mitigated during and post construction (permanent phase), for example through the implementation of passive drainage measures around the basement structure.

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy SI 13.

7. Non Standard Condition: Prior to commencement of development the applicant must submit the following to the Local Planning Authority for approval in writing:

- a. Detailed Construction Method Statement and construction/excavation sequence produced by the respective Contractors responsible for the underpinning, excavation and construction of the basements. This shall be reviewed and agreed by the Structural Engineer designing the basement.

- b. Design calculations, drawings, propping and de-propping sequence of the temporary works supporting the highway and adjoining properties, required to facilitate excavation and underpinning.
- c. Design calculation and drawings (plan and sections) of the underpinned retaining wall and the light well retaining wall. The design has to be undertaken in accordance with Eurocodes. We would recommend using full height hydrostatic pressure and at-rest soil pressures for the design of all retaining walls and a minimum highway loading surcharge of 10 KN/m² and 20 KN/m² if the adjacent highway has abnormal load traffic movement.
- d. Movement monitoring report produced by specialist surveyors appointed to install monitoring gauges to detect any movement of the highway/neighbouring properties from start to completion of the project works. The report should include the proposed locations of the horizontal and vertical movement monitoring, frequency of monitoring, trigger levels, and the contingency measures for different trigger alarms.

8. Non standard condition: A preliminary risk assessment, then an investigation shall be undertaken to consider the potential for contaminated-land, and if necessary, a detailed remediation scheme to bring the site to a suitable state for the intended use by removing unacceptable risks to health and the built environment, and shall be submitted to and approved in writing by the local planning authority.

Reason: To protect the health of future users of the site in accordance with policy D10 of the London Plan 2021 and policy DM EP4 of Merton's sites and policies plan 2014.

9. Non standard condition: The approached remediation shall be completed prior to completion and a verification report, demonstrating the then effectiveness of the remediation, shall be submitted to and approved in writing by the local planning authority.

Reason: To protect the health of future users of the site in accordance with policy D10 of the London Plan 2021 and policy DM EP4 of Merton's sites and policies plan 2014.

10. Tree Protection: The details and measures for the protection of the existing trees as specified in the hereby approved document 'Arboricultural Impact Assessment Method Statement & Tree Protection (to BS5837:2012)' reference 'TH2734' dated '10 March 2021' shall be fully complied with. The methods for the protection of the existing trees shall

fully accord with all of the measures specified in the report including site supervision and monitoring the progress of site works.

Reason: To protect and safeguard the existing trees in accordance with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policy CS13 of Merton's Core Planning Strategy 2011 and policies DM D2 and 02 of Merton's Sites and Policies Plan 2014.

11. No work shall be commenced until details of the proposed design, materials and method of construction of the foundations to be used within 4m of the existing retained tree(s) shall be submitted to and approved in writing by the Local Planning Authority and the work shall be carried out in accordance with the approved details.

Reason: To protect and safeguard the existing trees in accordance with the following Development Plan policies for Merton: policy 7.21 of the London Plan 2015, policy CS13 of Merton's Core Planning Strategy 2011 and policies DM D2 and 02 of Merton's Sites and Policies Plan 2014.

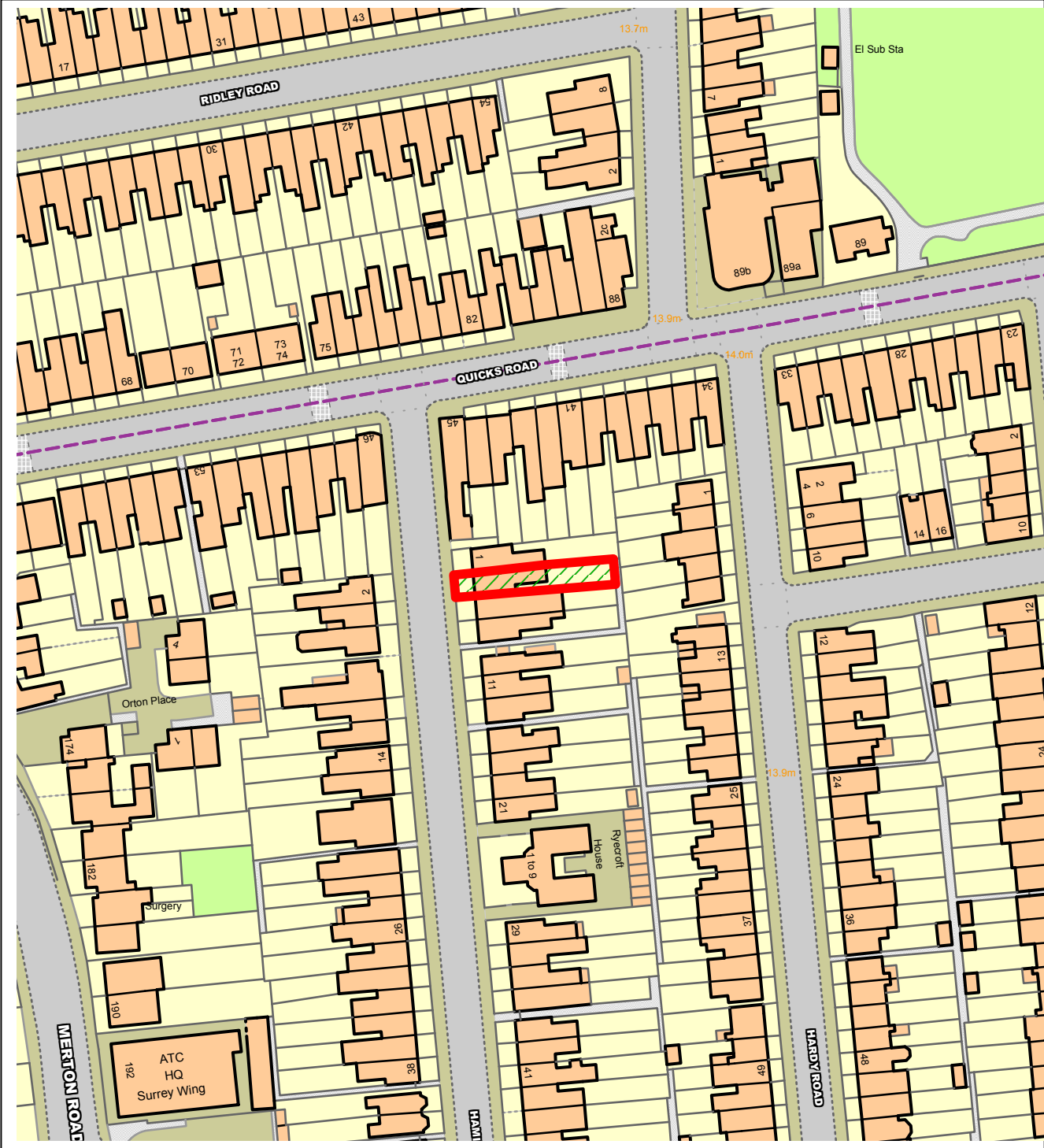
12. INFORMATIVE: In accordance with paragraph 38 of the NPPF, The London Borough of Merton (LBM) takes a positive and proactive approach to development proposals focused on solutions. LBM works with applicants/agents in a positive and proactive manner by:

- I. Offering a pre-application advice and duty desk service.
- II. Where possible, suggesting solutions to secure a successful outcome.
- III. As appropriate, updating applicants/agents of any issues that may arise in the processing of their application.

In this instance:

- i) The application was amended during the application process and no further assistance was required.

NORTHGATE SE GIS Print Template



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LOCATION PLAN
1:1250 @ A3



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Important Note

Whilst due care and attention is taken to ensure all surveys, drawings, dimensions and details provided are accurate, it is the Builders responsibility to check and verify all dimensions, details, levels and sewer invert levels on site prior to ordering any materials or commencing works. Should any discrepancies be found these should be relayed to the Architect immediately for review. Should these drawings be used without adequate site investigations and subsequent issues arise, liability will lie solely with the Builder. Do not scale off this drawing, work to figured dimensions only. This drawing must be read and checked with all structural and relevant specialist drawings. The Builder is to comply in all respects with the current Building Regulations and latest Codes of Practice.

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Revisions

Rev	Date	Notes	Initial

Project

Client: Mina Padula
Address: 3 Hamilton Road
Wimbledon
SW19 1JD
Stage: Planning

Drawing

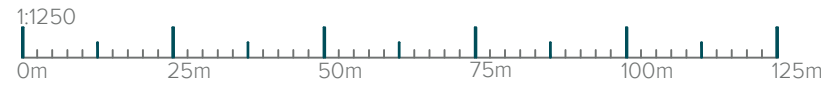
Title: Location Plan
Drawn By: MK
Date: JUN 2019
Scale: 1:1250 @ A3
Dwg No.: 2019-023-LP Rev: -

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Ordnance Survey, (c) Crown Copyright 2019. All rights reserved. Licence number 100022432

LOCATION PLAN
1:1250 @ A3



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Revisions

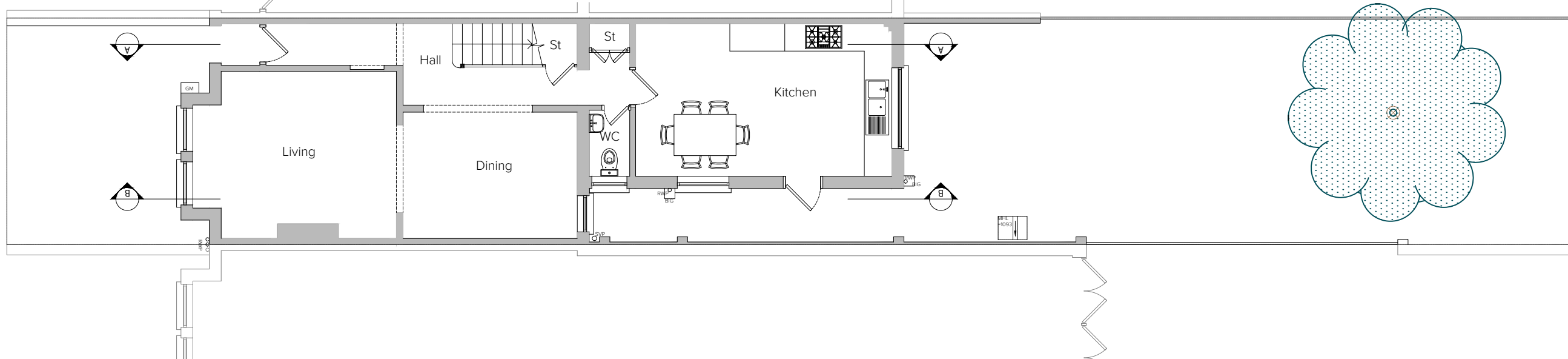
Rev	Date	Notes	Initial

Project

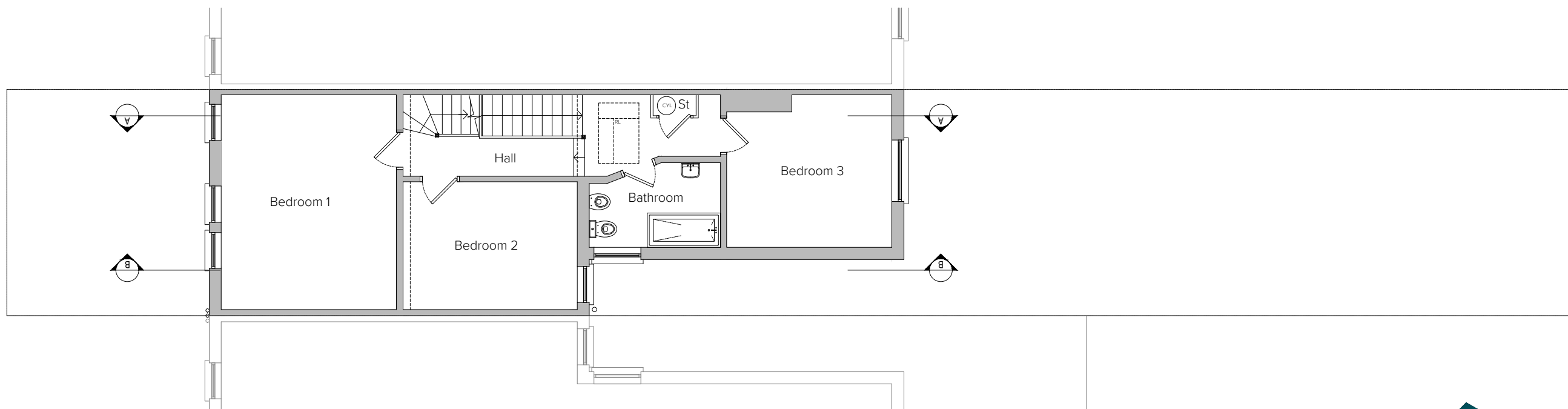
Client: Mina Padula
Address: 3 Hamilton Road
Wimbledon
SW19 1JD
Stage: Planning

Drawing

Title: Location Plan
Drawn By: MK
Date: JUN 2019
Scale: 1:1250 @ A3
Dwg No.: 2019-023-LP Rev: -



EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN

Page 168



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Revisions

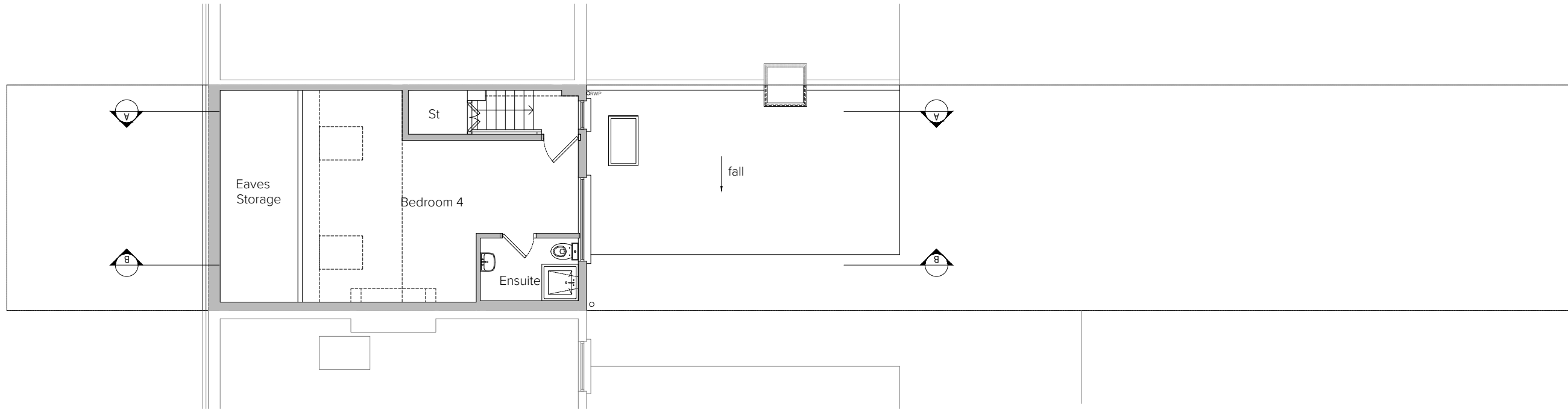
Rev	Date	Notes	Initial

Project

Client: Mina Padula
Address: 3 Hamilton Road
Wimbledon
SW19 1JD
Stage: Planning

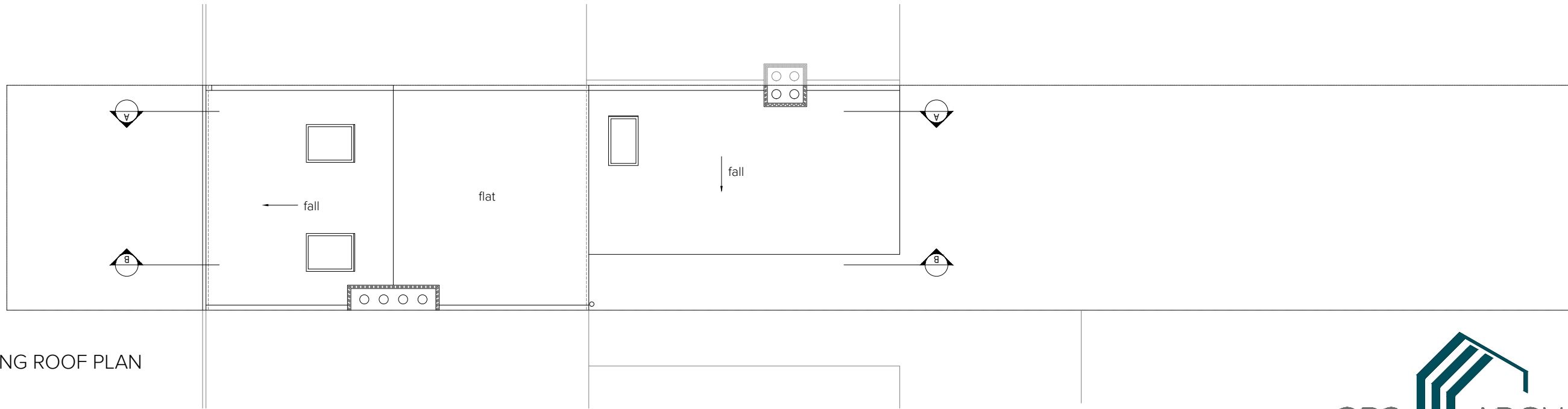
Drawing

Title: Existing Plans
Drawn By: MK
Date: JUN 2019
Scale: 1:100 @ A3
Dwg No.: 2019-023-01 Rev: -



EXISTING SECOND FLOOR PLAN

Page 169



EXISTING ROOF PLAN



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Revisions

Rev	Date	Notes	Initial

Project

Client: Mina Padula
Address: 3 Hamilton Road
Wimbledon
SW19 1JD
Stage: Planning

Drawing

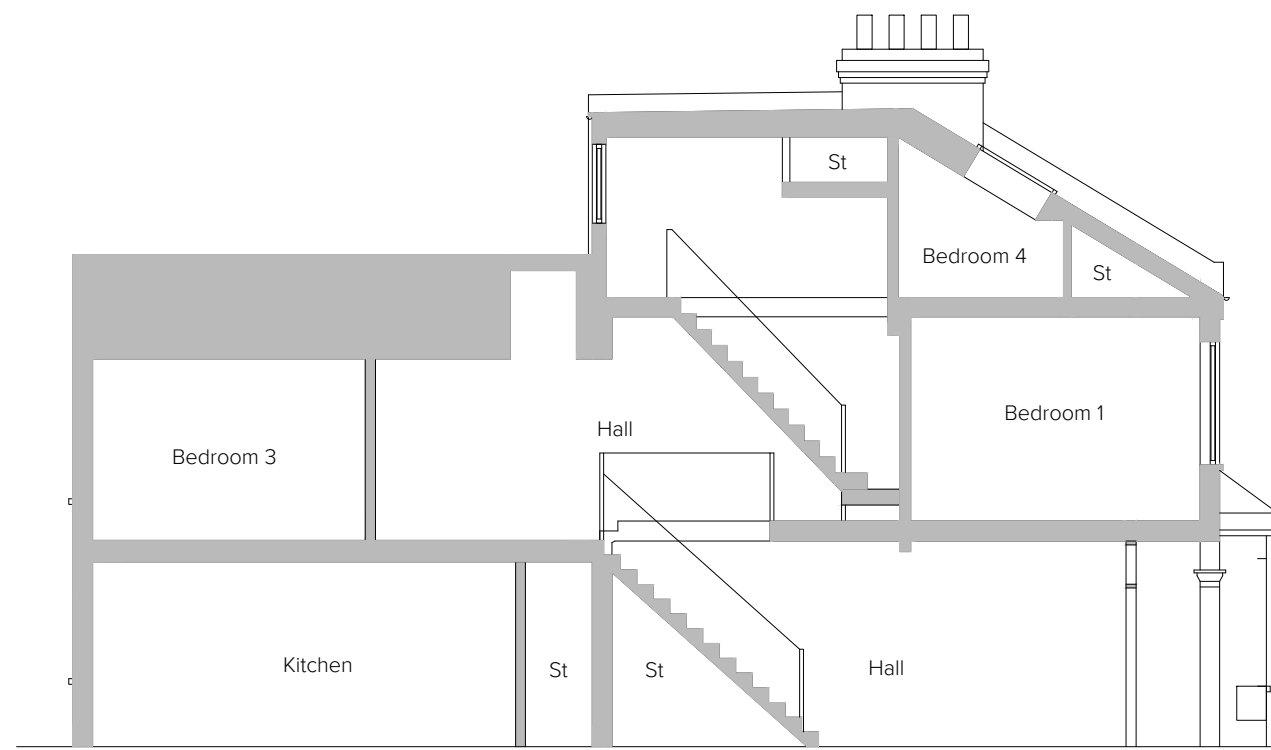
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Drawn By: MK
Date: JUN 2019
Scale: 1:100 @ A3
Dwg No.: 2019-023-02 Rev: -



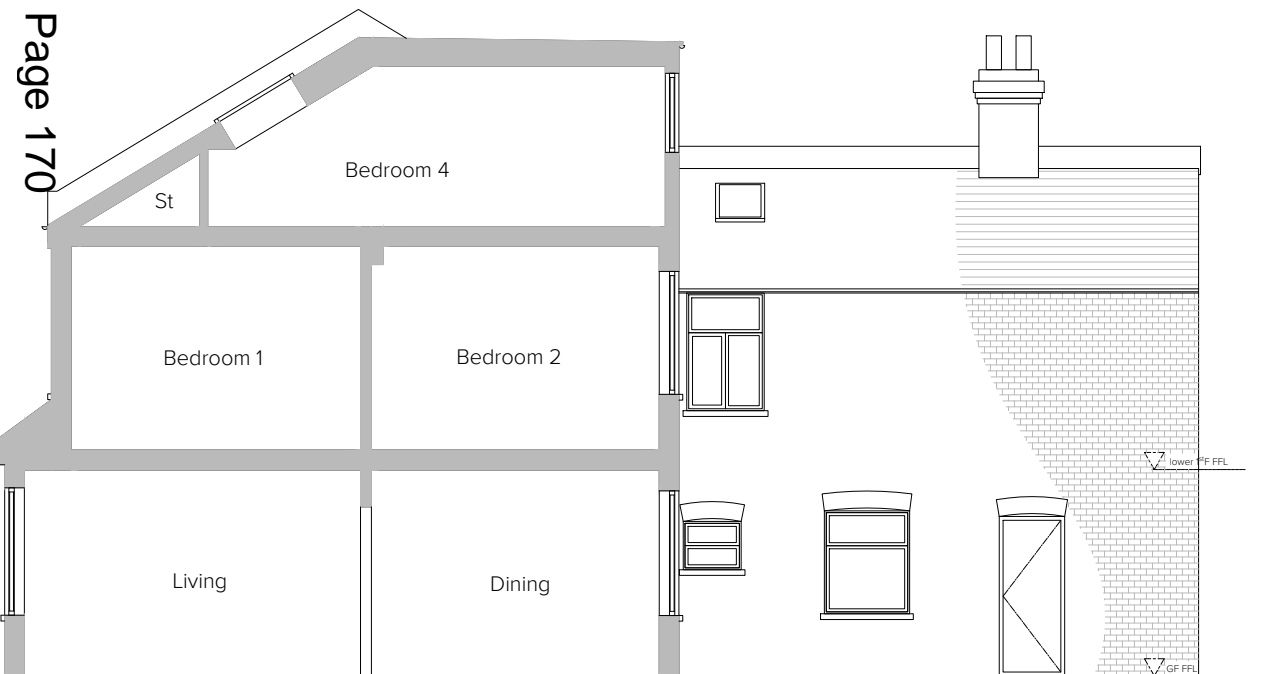
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING SECTION A-A

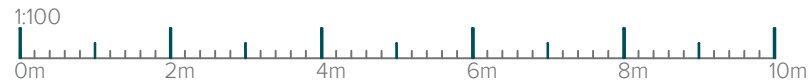


EXISTING SIDE ELEVATION / SECTION B-B



EXISTING SITE PLAN

1:500 @ A3



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Revisions

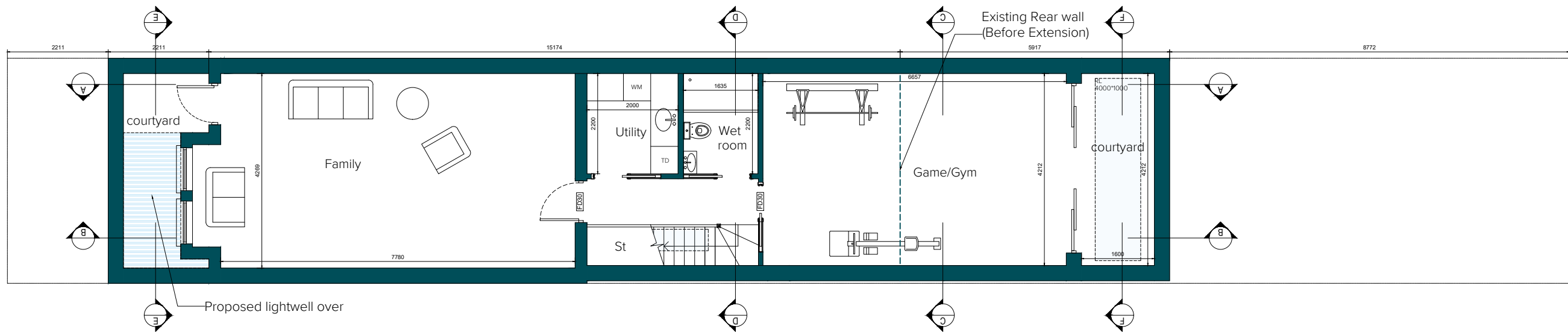
Rev	Date	Notes	Initial

Project

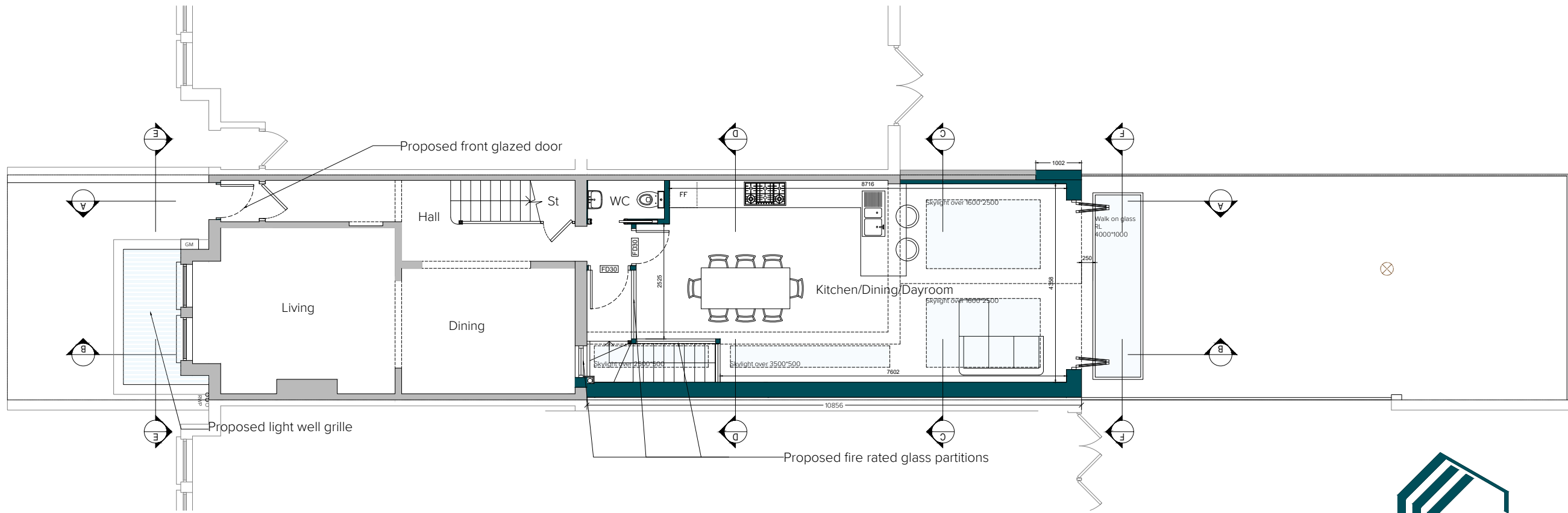
Client: Mina Padula
Address: 3 Hamilton Road
Wimbledon
SW19 1JD
Stage: Planning

Drawing

Title: Existing Elevations
Drawn By: MK
Date: JUN 2019
Scale: 1:100 OR 1:500 @ A3
Dwg No.: 2019-023-03 Rev: -



PROPOSED LOWER GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

Page 171



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Revisions

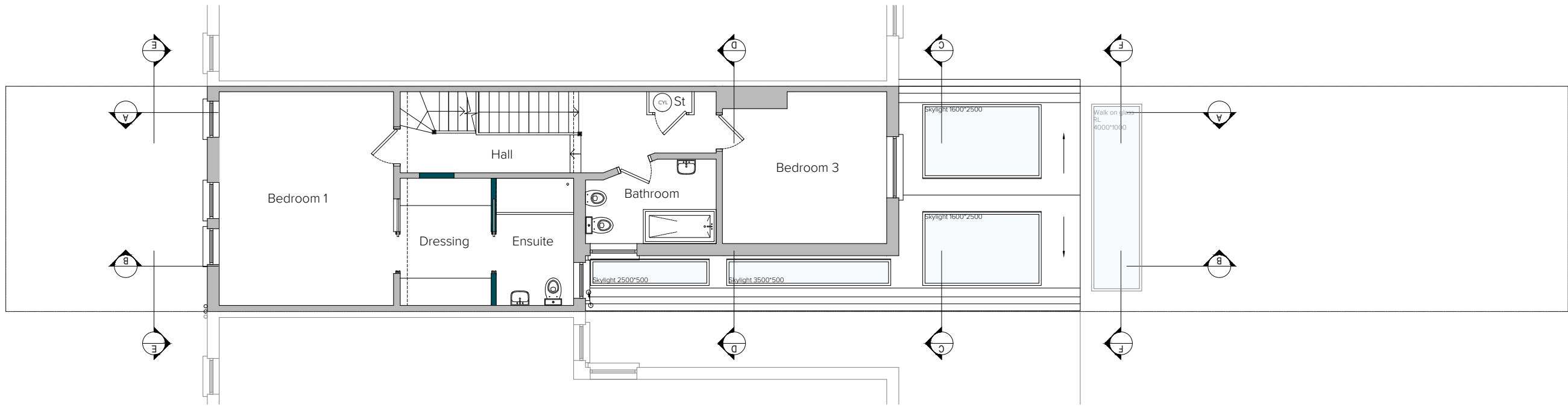
Rev	Date	Notes	Initial

Project

Client: Mina Padula
Address: 3 Hamilton Road
Wimbledon
SW19 1JD
Stage: Planning

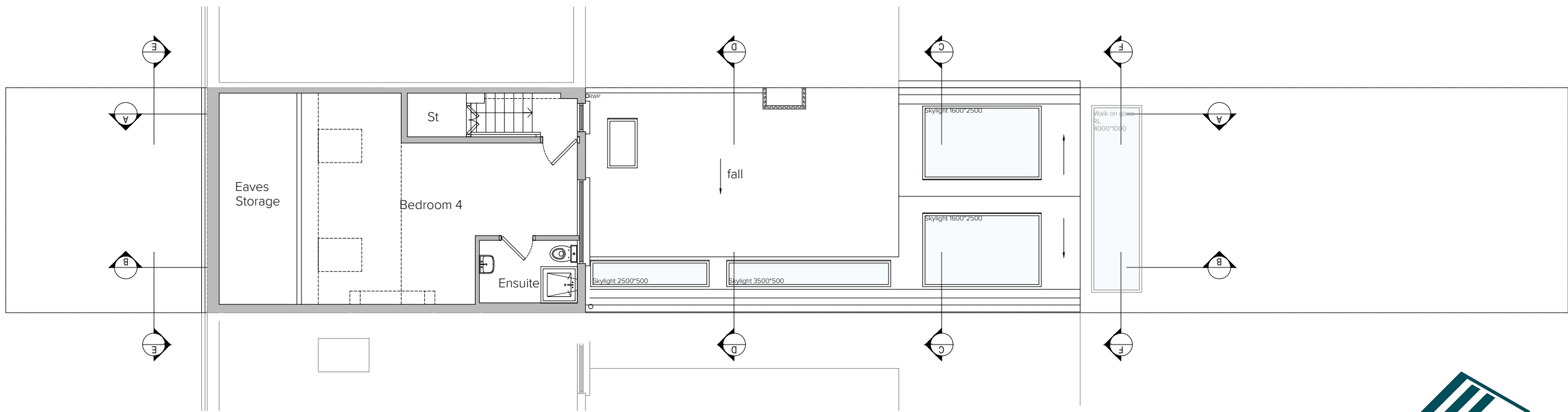
Drawing

Title: Proposed Plans
Drawn By: MK
Date: JUN 2019
Scale: 1:100 @ A3
Dwg No.: 2019-023-401 Rev: -



PROPOSED FIRST FLOOR PLAN

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PROPOSED SECOND FLOOR PLAN



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Revisions

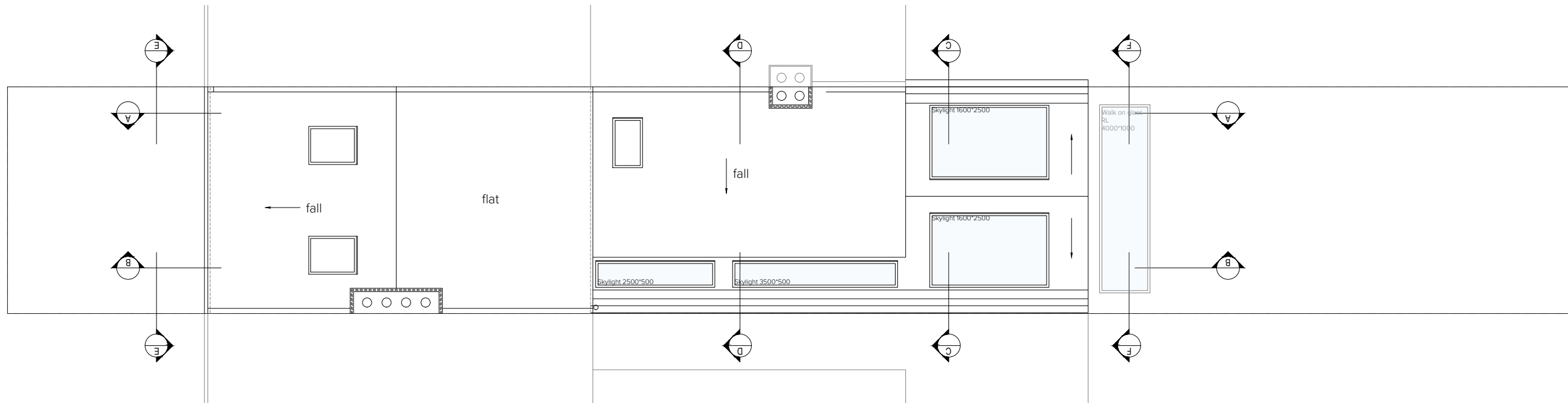
Rev	Date	Notes	Initial

Project

Client: Mina Padula
Address: 3 Hamilton Road
Wimbledon
SW19 1JD
Stage: Planning

Drawing

Title: Proposed Plans
Drawn By: MK
Date: JUN 2019
Scale: 1:100 @ A3
Dwg No.: 2019-023-402 Rev: -



PROPOSED ROOF PLAN



PROPOSED FRONT ELEVATION

PROPOSED REAR ELEVATION

PROPOSED SECTION E-E

PROPOSED SECTION C-C



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Revisions

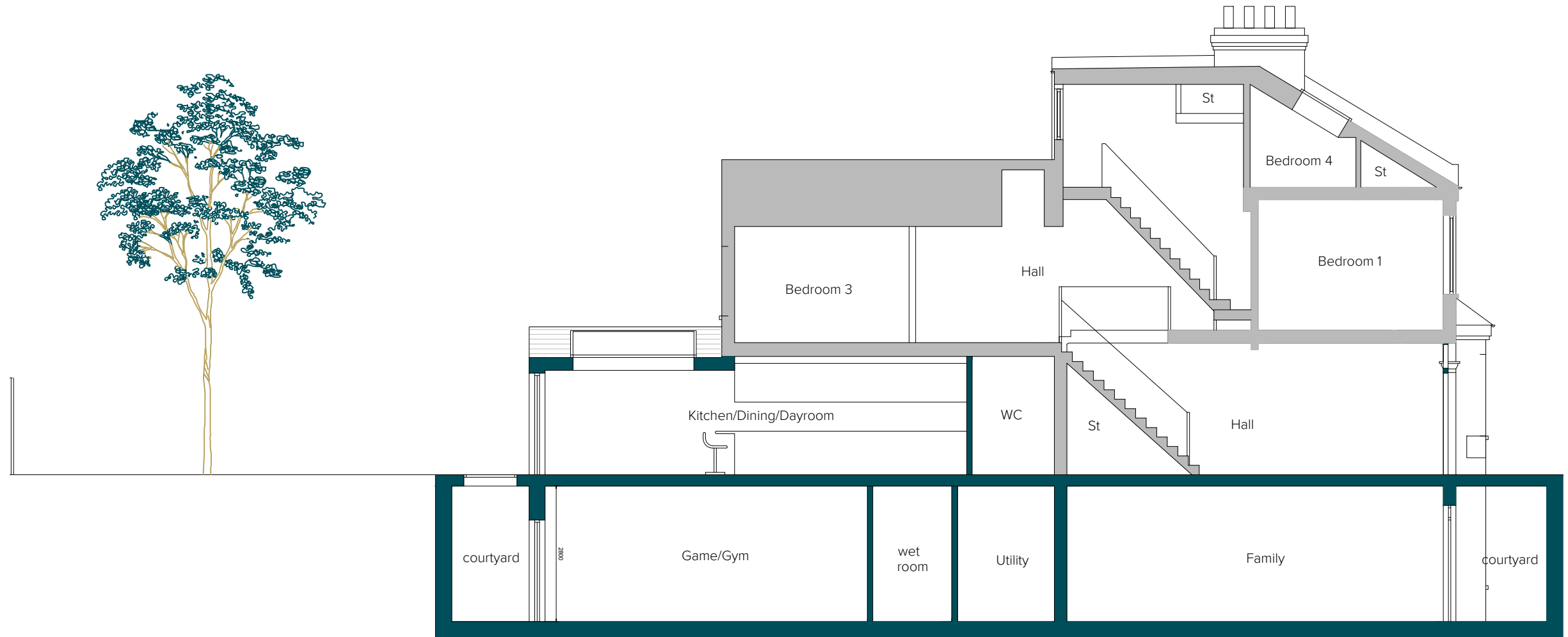
Rev	Date	Notes	Initial

Project

Client: Mina Padula
Address: 3 Hamilton Road
Wimbledon
SW19 1JD
Stage: Planning

Drawing

Title: Proposed
Drawn By: MK
Date: JUN 2019
Scale: 1:100 @ A3
Dwg No.: 2019-023-403 Rev: -



PROPOSED SECTION A-A



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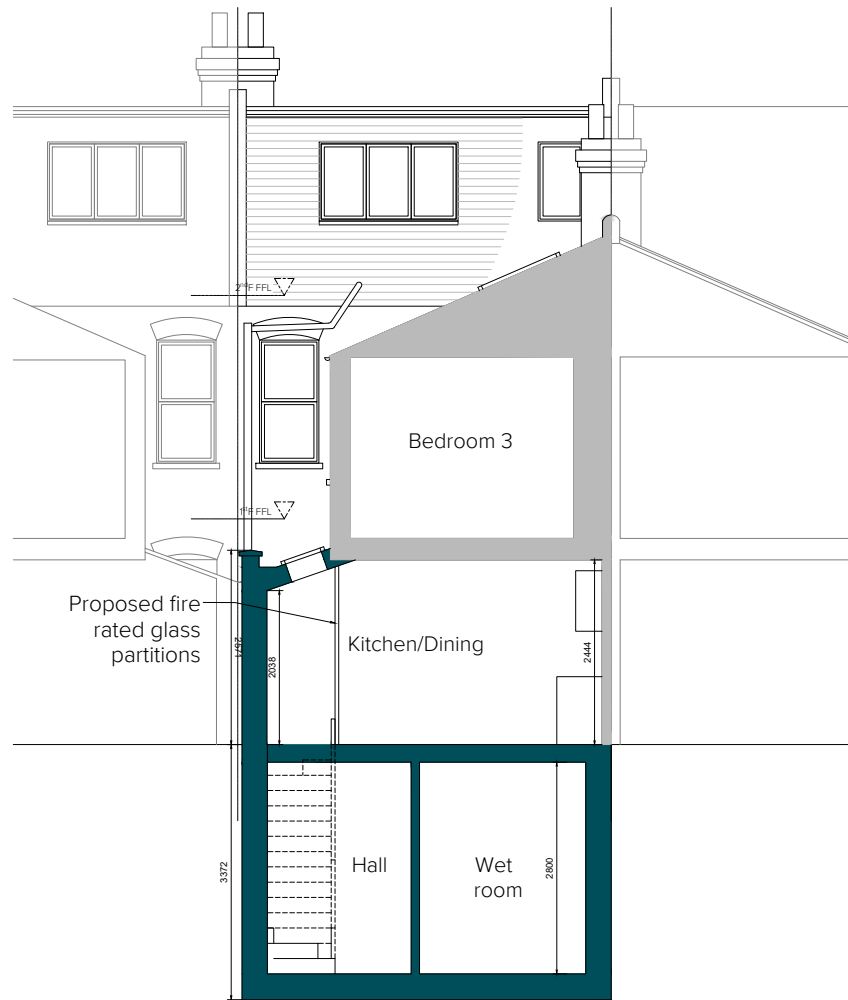
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Revisions

Rev	Date	Notes	Initial

Project
 Client: Mina Padula
 Address: 3 Hamilton Road
 Wimbledon
 SW19 1JD
 Stage: Planning

Drawing
 Title: Proposed Section
 Drawn By: MK
 Date: JUN 2019
 Scale: 1:100 @ A3
 Dwg No.: 2019-023-404 Rev: -



PROPOSED SECTION D-D



PROPOSED SECTION F-F



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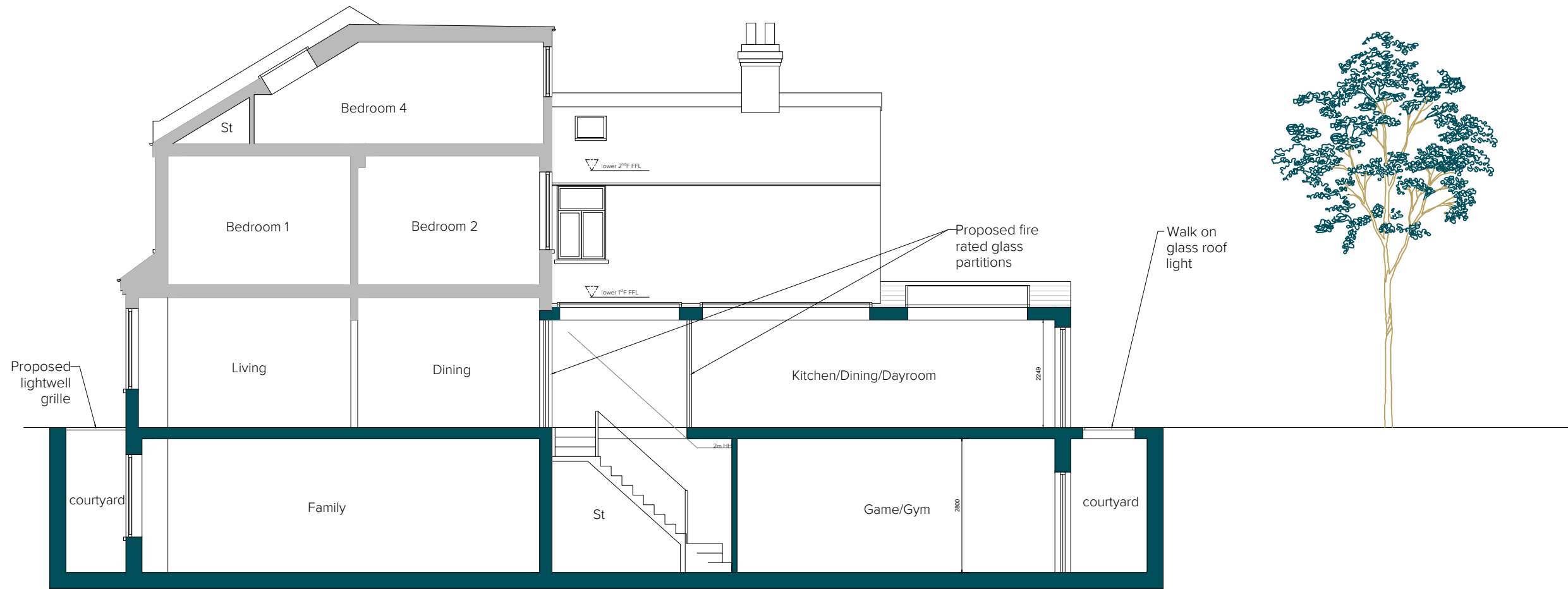
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Revisions

Rev	Date	Notes	Initial

Project
 Client: Mina Padula
 Address: 3 Hamilton Road
 Wimbledon
 SW19 1JD
 Stage: Planning

Drawing
 Title: Proposed Sections
 Drawn By: MK
 Date: JUN 2019
 Scale: 1:100 @ A3
 Dwg No.: 2019-023-405 Rev: -



PROPOSED SIDE ELEVATION/ SECTION B-B

1:500 @A3



PROPOSED SITE PLAN

1:500 @ A3



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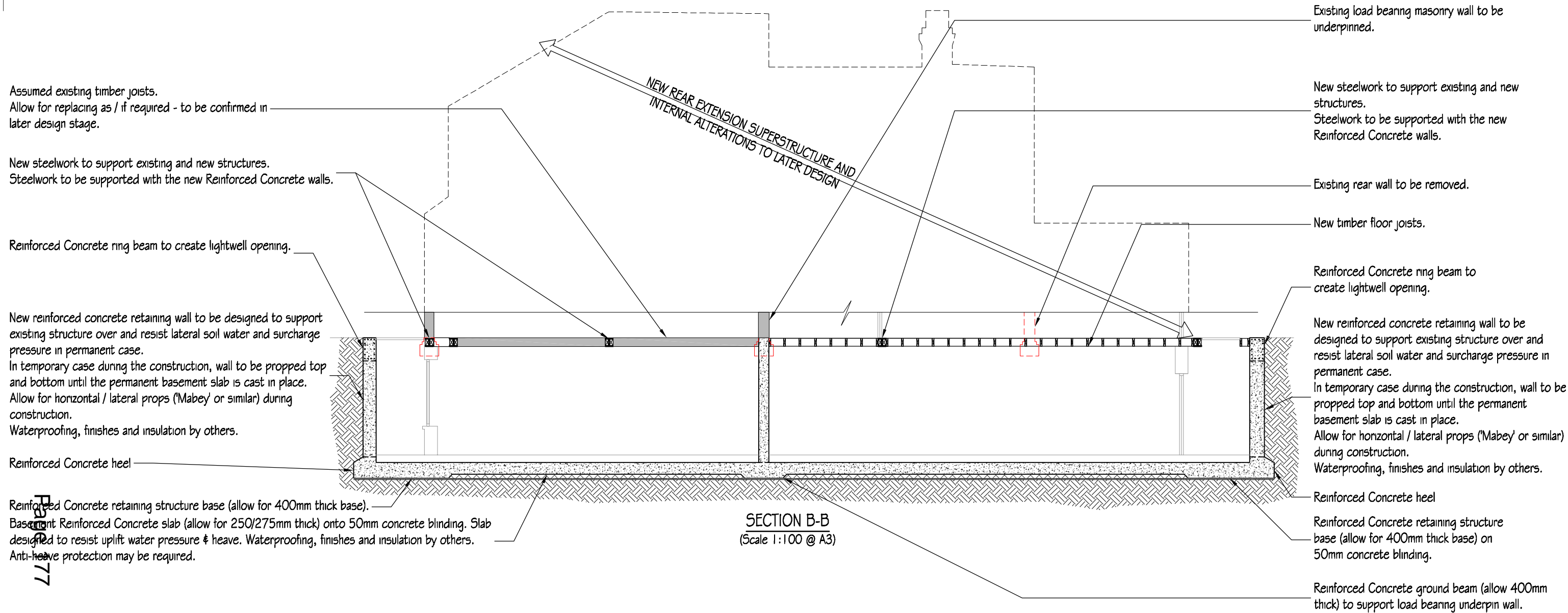
Rev	Date	Notes	Initial

Project

Client: Mina Padula
Address: 3 Hamilton Road
Wimbledon
SW19 1JD
Stage: Planning

Drawing

Title: Proposed Sections
Drawn By: MK
Date: JUN 2019
Scale: 1:100 @ A3
Dwg No.: 2019-023-406 Rev: -



SECTION B-B
(Scale 1:100 @ A3)

Assumed existing timber joists.
Allow for replacing as / if required - to be confirmed in later design stage.

New steelwork to support existing and new structures.
Steelwork to be supported with the new Reinforced Concrete walls.

Reinforced Concrete ring beam to create lightwell opening.

New reinforced concrete retaining wall to be designed to support existing structure over and resist lateral soil water and surcharge pressure in permanent case.
In temporary case during the construction, wall to be propped top and bottom until the permanent basement slab is cast in place.
Allow for horizontal / lateral props ('Mabey' or similar) during construction.
Waterproofing, finishes and insulation by others.

Reinforced Concrete heel

Reinforced Concrete retaining structure base (allow for 400mm thick base).
Basement Reinforced Concrete slab (allow for 250/275mm thick) onto 50mm concrete blinding. Slab designed to resist uplift water pressure & heave. Waterproofing, finishes and insulation by others.
Anti-heave protection may be required.

Existing load bearing masonry wall to be underpinned.

New steelwork to support existing and new structures.
Steelwork to be supported with the new Reinforced Concrete walls.

Existing rear wall to be removed.

New timber floor joists.

Reinforced Concrete ring beam to create lightwell opening.

New reinforced concrete retaining wall to be designed to support existing structure over and resist lateral soil water and surcharge pressure in permanent case.
In temporary case during the construction, wall to be propped top and bottom until the permanent basement slab is cast in place.
Allow for horizontal / lateral props ('Mabey' or similar) during construction.
Waterproofing, finishes and insulation by others.

Reinforced Concrete heel

Reinforced Concrete retaining structure base (allow for 400mm thick base) on 50mm concrete blinding.

Reinforced Concrete ground beam (allow 400mm thick) to support load bearing underpin wall.

FOR PLANNING

PRELIMINARY ONLY

NOT FOR CONSTRUCTION

NOTES :

A) This drawing has been prepared with limited or no site exploratory work and much of the skeletal structure remains hidden until work commences. It is common for the precise nature of the works to be varied slightly, or additional works required, to suit the conditions encountered. It is usual for a contingency sum to be included for such circumstances.

B) This drawing to be read in conjunction with all relevant drawings produced by the Architect and Pole Structural Engineers

C) Pole Structural Engineers drawings are not to be scaled to obtain dimensions. All dimensions, setting out information and levels are to be obtained from the Architect's drawings and site measurement.

D) Details of all non-structural items, ie ventilation, insulation, services, drainage, waterproofing, fire protection, dampproofing, finishes etc. are to be obtained from the Architect's drawings.

E) The contractor is to inform the Architect and Pole Structural Engineers of any discrepancies shown on the drawings with regard to the size, position and arrangement of the existing structure and associated elements.

HEALTH & SAFETY NOTES:

- Live services may be present on site:** All underground utilities must be properly identified before any excavation work can begin; these may include: water, steam, sewer, drain, electricity, gas, communication, oil or gasoline etc.
- Deep excavation necessary:** Contractor to provide shutters at the excavated face with temporary propping to reduce risk of excavation collapse and provide barriers to reduce risk of falling into excavation.
- Ground condition may be unstable:** Contractor to provide shutters at the excavated face with temporary propping to reduce risk of any ground movement.
Contractor to provide temporary works design and method statements completed by competent Temporary Works Designer as per CDM requirement.
- High water table during excavation:** The excavations to be kept free from water at all times by pumping or bailing as required. Contractors to ensure sump and pump on standby for dewatering if required.
- Removal of an existing load bearing walls:** Contractor to ensure all internal and external load bearing walls and floors are fully supported at all times during the works until the permanent steelwork is installed. Contractor shall provide method statement, sequence of work and temporary work proposal to the engineer prior to commencing the works
- Removal of an existing floor structures:** Contractor to secure the walls by providing appropriate lateral bracing at floor levels in order to maintain the lateral stability of the adjacent walls.
- Steelwork erection & Heavy lifting:** Contractor to provide temporary works design and method statements for safe lifting; steel fabrication drawings (includes connection details and splice details, if required) for Permanent Work Engineers review and comment prior to construction.

C	16.11.20	Issued for planning
B	24.08.20	Issued for planning
A	06.08.20	Preliminary issue
Rev	Date	Amendment

Drawing Status	
Preliminary	Tender
Information	X Construction
Building Regs	As Instructed

STRUCTURAL ENGINEERS
Admel House
24 High Street
London
SW19 5DX
tel. 020 8944 9955
fax. 020 8944 9326
mail@pole.co.uk
www.pole.co.uk

Drawing: **PROPOSED SECTION A-A**

Project:
**3 HAMILTON ROAD
LONDON
SW19 1JD**

Date: AUG '20 Scale: 1:100 @A3 Drg No: 6777/SK03
Rev: C

Drawn **JMT**

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NOTES :

- A) This drawing has been prepared with limited or no site exploratory work and much of the skeletal structure remains hidden until work commences. It is common for the precise nature of the works to be varied slightly, or additional works required, to suit the conditions encountered. It is usual for a contingency sum to be included for such circumstances.
- B) This drawing to be read in conjunction with all relevant drawings produced by the Architect and Pole Structural Engineers
- C) Pole Structural Engineers drawings are not to be scaled to obtain dimensions. All dimensions, setting out information and levels are to be obtained from the Architect's drawings and site measurement.
- D) Details of all non-structural items, ie ventilation, insulation, services, drainage, waterproofing, fire protection, dampproofing, finishes etc. are to be obtained from the Architect's drawings.
- E) The contractor is to inform the Architect and Pole Structural Engineers of any discrepancies shown on the drawings with regard to the size, position and arrangement of the existing structure and associated elements.

Existing side wall to be removed.
Steelwork above to designed in later stage.

New masonry wall for rear and return extension.
To be supported by the new RC wall.

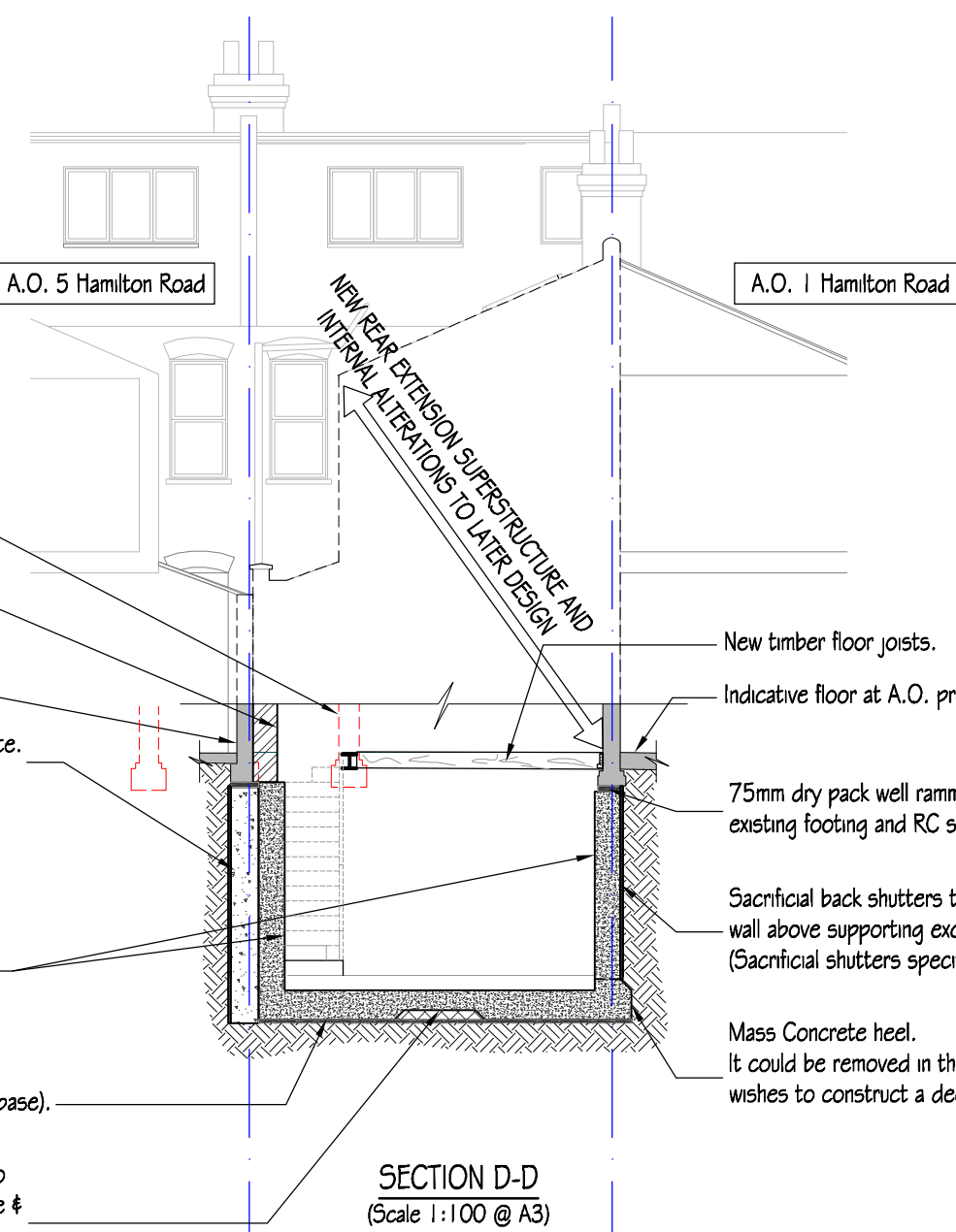
Existing wall at A.O. property.

Foundation at No. 5 Hamilton Road to be underpin using mass concrete.
To be constructed using 'hit & miss' underpinning sequence.

New reinforced concrete cantilever retaining wall (allow for 350-400mm wall) to be designed to support structure over and resist lateral soil water and surcharge pressure in permanent case.
To be constructed using 'hit & miss' underpinning sequence.
Allow for horizontal / lateral props ('Mabey' or similar) during construction.
Waterproofing, finishes and insulation by others.

Reinforced Concrete retaining structure base (allow for 400mm thick base).

Basement Reinforced Concrete slab (allow for 250/275mm thick) onto 50mm concrete blinding. Slab designed to resist uplift water pressure & heave. Waterproofing, finishes and insulation by others.
Anti-heave protection may be required.



SECTION D-D
(Scale 1:100 @ A3)

HEALTH & SAFETY NOTES:

- Live services may be present on site:** All underground utilities must be properly identified before any excavation work can begin; these may include: water, steam, sewer, drain, electricity, gas, communication, oil or gasoline etc.
- Deep excavation necessary:** Contractor to provide shutters at the excavated face with temporary propping to reduce risk of excavation collapse and provide barriers to reduce risk of falling into excavation.
- Ground condition may be unstable:** Contractor to provide shutters at the excavated face with temporary propping to reduce risk of any ground movement.
Contractor to provide temporary works design and method statements completed by competent Temporary Works Designer as per CDM requirement.
- High water table during excavation:** The excavations to be kept free from water at all times by pumping or bailing as required. Contractors to ensure sump and pump on standby for dewatering if required.
- Removal of an existing load bearing walls:** Contractor to ensure all internal and external load bearing walls and floors are fully supported at all times during the works until the permanent steelwork is installed. Contractor shall provide method statement, sequence of work and temporary work proposal to the engineer prior to commencing the works
- Removal of an existing floor structures:** Contractor to secure the walls by providing appropriate lateral bracing at floor levels in order to maintain the lateral stability of the adjacent walls.
- Steelwork erection & Heavy lifting:** Contractor to provide temporary works design and method statements for safe lifting; steel fabrication drawings (includes connection details and splice details, if required) for Permanent Work Engineers review and comment prior to construction.

Rev	Date	Amendment
C	16.11.20	Issued for planning
B	24.08.20	Issued for planning
A	06.08.20	Preliminary issue

Drawing Status	
Preliminary	Tender
Information	X Construction
Building Regs	As Instructed

STRUCTURAL ENGINEERS
Admel House
24 High Street
London
SW19 5DX
tel. 020 8944 9955
fax. 020 8944 9326
mail@pole.co.uk
www.pole.co.uk

Drawing: **PROPOSED SECTION D-D**

Project:
**3 HAMILTON ROAD
LONDON
SW19 1JD**

Date: AUG '20 Scale: 1:100 @A3 Drg No: 6777/SK04
Rev: C

Drawn **JMT**

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PLANNING APPLICATIONS COMMITTEE 29th April 2021

UPRN	APPLICATION NO. 20/P1722	Item No: DATE VALID 02.07.2020
Address/Site	Garages R/O 38 Inglemere Road, Mitcham, CR4 2BT	
(Ward)	Graveney	
Proposal:	DEMOLITION OF GARAGES AND ERECTION OF 7 x SELF-CONTAINED FLATS WITH ASSOCIATED PARKING AND LANDSCAPING.	
Drawing Nos;	Site location plan and drawings 20-507PR 01A, 20-507PR 02D, 20-507PR 03E, 20-507PR 04F, 20-507PR 05E & 20-507PR 06F and BS 5837 Arboricultural Report, impact assessment & Arboricultural Method Statement' dated 24th April 2020 compiled by Crown Tree Consultancy;	

Contact Officer: Leigh Harrington (020 8545 3836)

RECOMMENDATION

Grant planning permission subject to relevant conditions and a s106 agreement for a permit free development.

CHECKLIST INFORMATION.

- Heads of agreement: No
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Impact Assessment been submitted: No
- Design Review Panel consulted: No,
- Number of neighbours consulted: 47
- Press notice – No
- Site notice – Yes
- External consultations: 1- Metropolitan Police Safer by Design
- Archaeological Priority Zone – No
- Flood risk zone - No
- Controlled Parking Zone – Yes, Zone GC
- Number of jobs created: N/A
- Density 60 Dwellings per hectare
- PTAL 3

1 INTRODUCTION

- 1.1 The application has been brought before the Committee due to the level of public interest.

2. SITE AND SURROUNDINGS

- 2.1 The site is an irregularly shaped 785m² plot of land used for 22 residential scale garages that is accessed via an access point between two short terraces of houses on Inglemere Road. The site backs onto rear gardens of properties along Inglemere Road, Bruce Road and Gorringe Park Avenue with the garden to the west of the site being quite heavily wooded.
- 2.2 The site does not fall within a Conservation Area, Archaeological Priority Zone or in an area at risk of flooding. It is located within a Controlled Parking Zone (GC). The site has an average Public Transport Accessibility Level (PTAL) rating of 3 although it is within relatively close walking distance of Tooting Train station.
- 2.3 A nearby larger scheme (LBM ref 17/P1601) for a similar redevelopment of a garage site for residential purposes was approved by the Planning Applications Committee and has been constructed. The Planning Applications also granted planning permission on the application site for the demolition of garages and erection of 4 x 3 bedroom dwelling houses with associated parking and landscaping (LBM Ref 19/P0498).

3. CURRENT PROPOSAL

- 3.1 This application involves demolishing the existing garages and the erection of a development of seven flats arranged around a courtyard type area with car parking and landscaping. The flats would be located within a building of a similar shape, size and footprint as was approved for the development of the houses (LBM Ref 19/P0498)
- 3.2 The proposal would provide the following accommodation; 2 x 1 Bedroom 2 Person, 1 x 2 Bedroom 3 Person and 4 x 2 Bedroom 4 Person units. Along the south east side of the site, backing onto the rear gardens of houses in Bruce Road the block would retain the same flat roofed arrangement as was previously approved. The flat roofed element would also follow around the southern side of the site.
- 3.3 Although the footprint at ground floor level is around 1m longer than on the previous approval, for the first floor element the footprint of this level retains the same position as previously approved for the houses. At first floor level there would be an enclosed amenity terrace on each of the two side elevations. A green roof is proposed.
- 3.4 Two parking spaces, reduced from 4 on the previous scheme, would be provided to the front of the site along with secure cycle storage nearest the flats and refuse stores along the accessway.

- 3.5 The building would be finished in exposed brickwork with the floors delineated by a reconstituted stone band course. The fenestration would be framed in grey aluminium which would match the roof capping and timber screens. Brick faced privacy panels would be utilised on some of the upper floor fenestration.

4. RELEVANT PLANNING HISTORY

Pre application advice application for this development.

19/P0498 Planning permission granted by PAC subject to conditions and a s106 agreement (permit free) for DEMOLITION OF GARAGES AND ERECTION OF 4 X 3 BED DWELLINGHOUSES WITH ASSOCIATED PARKING AND LANDSCAPING.

5. CONSULTATION

- 5.1 The application was advertised by means of a site notice and letters to neighbouring occupiers. The revised drawings were further reconsulted upon. In total objections were received from 5 neighbours which raised concerns relating to;

- Concerned about noise, dust and disturbance during construction.
- Noise and disturbance will be significant for those working from home.
- Negative impact on operation of neighbours gardens.
- Significant loss of privacy, they acknowledge this through the need for privacy screens. Terrace screening is not enough.
- Two storey building will limit sunlight to nearby houses.
- This is an eyesore of no benefit to neighbours
- Design is completely against local design guidance and detailing and shape of the building will not fit into the surrounding area, especially the flat roof.
- Lack of detail about what will happened when the boundary walls are removed. They should be replaced with brick walls and not fences.
- No affordable housing provision

5.2 LBM Environmental Health

No objection subject to a number of conditions relating to land contamination, lighting, noise form mobile machinery and a Demolition and Construction Method Statement.

5.3 LBM Waste Services.

Required the collection point for refuse to be within 10m of the pavement as the site is too confined for a 26 tonne refuse truck to service. No objection subject to standard refuse conditions.

5.4 LBM Arboricultural Officer.

No objections to the proposals subject to suitable conditions relating to tree protection and site supervision.

5.5 LBM Transport Planning

One of the two parking bays should be for disabled use and that a permit free option would be acceptable either via as106 or a Unilateral Undertaking. No objection raised subject to conditions relating to the disabled bay, provision of 12 secure cycle spaces, permit free legal undertaking, refuse storage and a demolition and construction logistics plan condition being imposed.

5.6 LBM Flood Risk Engineer

The details submitted for this application in terms of flood risk and drainage, including the RPS Surface Water Drainage Assessment (Dated Jan 2019) have been reviewed. The scheme appears to be acceptable in flood risk terms as the site is at very low risk of surface water flooding and is not in a fluvial floodzone. Offsite surface water flows will be reduced via attenuation to greenfield rates, to no more than 0.7l/s which is in accordance with the London Plan 5.13, Merton's policy DM F2 and Merton's SuDS design and evaluation guide. External levels should be profiled away from the development and towards the nearest drainage point. A condition requiring a detailed scheme for the provision of surface and foul water drainage, including levels was requested.

6 POLICY CONTEXT

6.1 NPPF (2019). Key sections:

- 5. Delivering a sufficient supply of homes.
- 12. Achieving well-designed places.

6.2 London Plan 2021;

- H1 (Increasing housing supply),
- H2 (Small sites),
- D1 London's form, character and capacity for growth,
- D3 (Optimising site capacity through a design lead approach),
- D5 (Inclusive design),
- D6 (Housing Quality and standards),
- D11 (Safety & Security),
- G7 (Trees and woodlands),
- GG2 (Making the best use of land),
- GG4 (Delivering Homes Londoners need),
- GG6 (Increasing efficiency and resilience),
- SI 2 (Minimising greenhouse gas emissions),
- SI.13 (Sustainable drainage),
- T2 (Healthy streets),
- T5 (Cycling),
- T6.1 (Residential Parking),

6.3 London Housing Supplementary Planning Guidance 2016

6.4 DCLG Technical Standards 2015

6.5 Merton Core Strategy 2011

CS 9 (Housing targets),
CS 13 (Open Space, Nature conservation),
CS 14 (Design), CS 15 (Climate change),
CS 18 (Transport)
CS 20 (Parking, Servicing & delivery).

6.6 Merton Sites and Policies Plan 2014

DM D1 (Urban Design and the public realm),
DM D2 (Design considerations in all developments),
DM EP 2 (Reducing and mitigating noise),
DM EP4 (Pollutants),
DM H2 (Housing mix),
DM F2 (SUDS),
DM 02 (Trees, hedges and landscape features),
DM T2 (Transport impacts of development)
DM T3 (Car parking and servicing standards).

7. **PLANNING CONSIDERATIONS**

7.1 The main planning considerations in this case relate to the principle of the use of the site for the provision of flatted dwellings and the impact on local residents and the wider area.

7.2 Need for and principle of additional housing

The Planning Applications Committee has previously approved the site for residential use for 4 x 3 bedroom houses i.e a total of 12 bedrooms, the proposal will also provide 12 bedrooms albeit in seven units. Since that consent was granted the GLA target for housing in the Borough has more than doubled and in the absence of any policy change to the contrary, redevelopment for residential use is still considered acceptable.

7.3 Design/Bulk and massing/Appearance/Layout.

The design of new buildings would ensure appropriate scale, density and appearance, respecting, complementing and responding to local characteristics (London Plan 2021 policy D3, LDF policy CS.14 and SPP policy DM D2).

7.4 Bulk and massing.

The proposals will use almost the same first floor outline as the consented scheme for houses which is still considered to have been designed to minimise the impact of the bulk and massing with the single storey elements being the units closest to neighbouring residents whilst the higher two storey

units are set back from boundaries by the rear gardens and with considerable space to the west and the use of flat roofs is considered to further assist in reducing bulk and massing .The layout of the site is such that there will be very limited views of the development from the street.

7.5 Design- Appearance and layout.

The proposals have drawn criticism from neighbours in relation to the design being out of keeping with the area. Notwithstanding that the site is not readily visible from the street, as with the approved scheme the flat roof design with the use of exposed brickwork and grey fenestration is considered in keeping with the London Vernacular and allows the units to occupy the site with less visual intrusion and loss of light than would be the case with a reproduction of the surrounding housing style and size.

7.6 Internally the units largely follow the preferred methodology of providing regularly shaped rooms that are considered to have been well laid out with the drawings demonstrating that they will provide a high quality layout and living space for future occupiers. Where there are angles the rooms are above minimum standard to compensate for the impact on layout.

7.7 Neighbour Amenity.

London Plan 2021 Policy D3 and SPP policy DM D2 relate to the possible impacts such as loss of light, privacy, overshadowing and visual intrusion on neighbour amenity and the need for people to feel comfortable with their surroundings.

7.8 Objections were received in relation to privacy of neighbours. The upper floors are between 14 and 15m from the closest habitable rooms to the north and south, there being no windows in the east and west elevations. Following extensive discussions with officers the design of the upper floor windows and the methods for the privacy screening and angling of windows have been amended. These amendments are considered to adequately ensure the privacy of neighbouring occupiers whilst still providing outlook for future occupiers.

7.9 Objections were received raising concerns that the proposals would result in a loss of light to neighbouring properties. Again the design and layout is such that the structure closest to neighbours is the single storey flat roof elements which has the same height of 3m that was previously approved, 1m higher than a standard fence and a height considered acceptable for permitted development extensions and set against the back of the neighbouring gardens as is the case with the existing garages which are of a slightly greater height. The two storey element is located to the centre of the site.

7.10 The applicants have submitted a Daylight and Sunlight report which analyses the impact of the proposals on neighbouring properties. The report finds that the proposals are not considered to have any notable impact on either daylight or sunlight access windows or amenity spaces of surrounding developments.

7.11 To protect neighbour amenity a condition requiring the obscure glazing and privacy screens shown on the drawings be installed prior to occupation and that there be no use of the flat roof area.

7.12 Standard of accommodation and the amenity of future occupiers.

SPP Policy DM D2 (Design of new developments), Core Strategy 2011 policies CS 9 (Housing Provision) and CS 14 (Design) and London Plan 2021 policies D3 (Optimising site capacity through a design lead approach), D6 (Housing Quality and standards), H1 (Increasing housing supply) & H2 (Small sites) are all policies that seek to provide additional good quality residential accommodation.

7.13 Schedule of accommodation

Unit	Type	Proposed GIA	Minimum req'd GIA	Proposed Amenity	Min Req'd amenity
1	2B3P	61.6m ²	61m ²	28.7m ²	6m ²
2	1B2P	51.7m ²	50m ²	26.3m ²	5m ²
3	2B4P	70.8m ²	70m ²	40.4m ²	7m ²
4	2B4P	70.3m ²	70m ²	49.2m ²	7m ²
5	1B2P	50.7m ²	50m ²	17m ²	5m ²
6	2B4P	71.7m ²	70m ²	7.5m ²	7m ²
7	2B4P	76.1m ²	70m ²	7m ²	7m ²

7.14 The table demonstrates that all the units exceed the minimum internal space GIA requirements. Flats 1 to 6 exceed the minimum external amenity space standards whilst Flat 7 meets that minimum requirement.

7.15 Parking, servicing and deliveries.

Core Strategy Policy CS 20 requires proposals to have regard to pedestrian movement, safety, serving and loading facilities for local businesses and manoeuvring for emergency vehicles as well as refuse storage and collection.

7.16 London Plan 2021 Policy T5 and Core Strategy policy CS18 set minimum requirements for secure cycle storage. Cycle storage provision is considered acceptable as are the refuse facilities although precise details are not shown and therefore conditions requiring details to be approved are recommended.

7.17 London Plan 2021 Policy T6.1 and SPP policies DM T2 and DM T3 address the impact of parking and transport on developments. There is no set minimum for parking for a development of this size and there is less on-site parking than was provided for on the previous approval for housing. However as the site is located within a CPZ a section 106 agreement can be utilised to make the development permit free. Swept path analysis shows that the two car parking spaces can operate on site. One disabled space would be provided.

7.18 Trees.

London Plan 2021 Policy G7, Core strategy Policy CS 13 and SPP policy DM O1 seek to protect and enhance trees and biodiversity. There are no trees on the existing site, the main concentration being off site to the west. The Council's arboricultural officer has considered that subject to the imposition of suitable conditions relating to tree protection and site supervision there would be no harm to trees in the vicinity.

7.19 Flood risk and drainage.

London Plan 2021 policy SI.13 and SPP policy DM F2 seek to ensure that suitable and sustainable urban drainage schemes reduce the risk of flooding. The proposals are on a site that is not at risk for flooding and the accompanying surface water drainage assessment has been assessed by the Council's Flood Risk management engineer and found to be acceptable. A condition requiring the parking hardstanding to be permeable is also recommended

7.20 Other matters;

Neighbour concerns relating to noise dust and disturbance during construction can be mitigated through the imposition of a condition requiring a Demolition and Construction Method Statement to be approved. Noise and disturbance from residential use would not be considered a matter that would warrant a refusal of consent and has not been a matter supported by Inspectors. Concerns were raised in relation to in relation to the replacement boundary walls. The applicant has confirmed and indicated on amended drawings that the site will continue to be bordered by brick walling rather than close boarded fencing, retaining the existing walls wherever possible whilst a party wall agreement will address details in relation to site access, reinstating gardens etc. With only seven units the proposal is below the threshold for providing affordable housing, either on site or via an off-site contribution but would be liable to a CIL payment.

8. SUSTAINABILITY AND ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS.

8.1 The proposal does not constitute Schedule 1 or Schedule 2 development. Accordingly there is no requirement for an EIA submission.

8.2 In order to ensure that the development is policy compliant a condition to that effect requiring CO2 reductions of not less than a 19% improvement on Part L

regulations 2013, and internal water usage rates of not more than 105 litres per person per day is recommended.

9. CONCLUSION

- 9.1 The site is currently an underused garage area and the Planning Applications Committee have relatively recently considered a residential use for the site to be acceptable. This proposal will now provide seven flats with 12 bedrooms within a similarly sized and located shell of the previously approved building that was due to provide 4 house and 12 bedrooms. The structure that has been designed to mitigate its potential impact in terms of bulk, scale, massing and design the amenity of neighbouring occupiers and the character and appearance of its wider setting and is very similar to the bulk scale and massing of the previously approved development.
- 9.2 Subject to the imposition of suitable planning conditions and a S106 undertaking/agreement making the scheme ineligible for parking permits, the proposal is considered to be acceptable and in compliance with relevant planning policy and is therefore recommended for approval.

RECOMMENDATION

GRANT PERMISSION SUBJECT TO CONDITIONS and s106

S106 Heads of terms

- i) Permit free development
- ii) Applicant to meet the council's reasonable costs for drafting the agreement and the monitoring fee.

Conditions

- 1 A.1 Commencement of development
- 2 A.7 In accordance with plans; Site location plan and drawings 20-507PR 01A, 20-507PR 02D, 20-507PR 03E, 20-507PR 04F, 20-507PR 05E & 20-507PR 06F and BS 5837 Arboricultural Report, impact assessment & Arboricultural Method Statement' dated 24th April 2020 compiled by Crown Tree Consultancy;
- 3 B3 External materials as specified.
- 4 B5 Boundary treatments to be approved.
- 5 D11 Construction Times No demolition or construction work or ancillary activities such as deliveries shall take place before 8am or after 6pm Mondays - Fridays inclusive, before 8am or after 1pm on Saturdays or at any time on Sundays or Bank Holidays.

6. H9 Construction Vehicles The development shall not commence until details of the provision to accommodate all site workers', visitors' and construction vehicles, loading /unloading and storage arrangements of construction plant and materials during the construction process have been submitted to and approved in writing by the Local Planning Authority. The approved details must be implemented and complied with for the duration of the construction process.
7. No development shall commence until a detailed site investigation has been completed to survey and assess the extent of potential ground contamination on the site and from the surrounding environment (including any controlled waters), considering historic land use data and the proposed end use with the site investigation report (detailing all investigative works and sampling, together with the results of analysis, risk assessment to any receptors and proposed remediation strategy detailing proposals for remediation), submitted to and approved by the Local Planning Authority and the residential units hereby approved shall not be occupied until the approved remediation measures/treatments have been implemented in full.
8. No residential unit hereby approved shall be occupied until a validation report has been submitted to and approved in writing by the Local Planning Authority to demonstrate that remediation works have been carried out in accordance with the agreed remediation strategy. The validation report shall provide a full record of all remediation activities carried out on the site including post remedial sampling and analysis, waste management documentation and evidence that the agreed site remediation criteria have been met (including waste materials removed from the site; an audit trail demonstrating that all imported or reused soil material conforms to current soil quality requirements as approved by the Council) and any post-remediation sampling that has been carried out.
9. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance in accordance with DEFRA and the Environment Agency's 'Model Procedures for the Management of Land Contamination, CLR 11' and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority.
10. All Non-road Mobile Machinery (NRMM) used during the course of the development that is within the scope of the Greater London Authority 'Control of Dust and Emissions during Construction and Demolition' Supplementary Planning Guidance (SPG) dated July 2014, or any subsequent amendment or guidance, shall comply with the emission requirements therein.

11. No development, including demolition, shall take place until a Demolition and Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the demolition and construction period.
The Statement shall provide for:
 - hours of operation
 - the parking of vehicles of site operatives and visitors
 - loading and unloading of plant and materials
 - storage of plant and materials used in constructing the development
 - The erection and maintenance of security hoarding including decorative
 - displays and facilities for public viewing, where appropriate
 - wheel washing facilities
 - measures to control the emission of noise and vibration during construction.
 - measures to control the emission of dust and dirt during construction/demolition
 - a scheme for recycling/disposing of waste resulting from demolition and construction worksReason: To protect the amenities of future occupiers and those in the local vicinity.
12. C6 Refuse and recycling; No flat hereby approved shall be occupied until a scheme for the storage of refuse and recycling has been submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the scheme has been approved, and the development shall not be occupied until the scheme has been approved and has been carried out in full. Those facilities and measures shall thereafter be retained for use at all times from the date of first occupation.
13. External lighting; Any external lighting shall be positioned and angled to prevent any light spillage or glare beyond the site boundary.
14. H6 Cycle storage; No development above ground level shall commence until details of secure cycle parking facilities for the occupants of, and visitors to, the development have been submitted to and approved in writing by the Local Planning Authority. The approved facilities shall be fully implemented and made available for use prior to the first occupation of the development and thereafter retained for use at all times.
15. Non standard Condition: No development approved by this permission shall be commenced until a detailed scheme for the provision of surface and foul water drainage, including levels, has been implemented in accordance with details that have been submitted to and approved in writing by the local planning authority. The drainage scheme will dispose of surface water by means of a sustainable drainage system (SuDS) at the agreed runoff rate (no more than 0.7l/s), in accordance with drainage hierarchy contained within the London Plan Policy (SI 13 and SPG) and the advice contained within the National SuDS Standards.

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy SI 13.

16. F5 Tree protection in accordance with BS 5837 Arboricultural Report, impact assessment & Arboricultural Method Statement' dated 20th April 2020 compiled by Crown Tree Consultancy;
17. F8 Site supervision (trees)
18. C3 Obscure glazing and privacy screens to be in place prior to occupation.
19. C8 No use of flat roof
20. Non standard condition; 'No part of the development hereby approved shall be occupied until evidence has been submitted to, and approved in writing by, the Local Planning Authority confirming that the development has achieved CO2 reductions of not less than a 19% improvement on Part L regulations 2013, and internal water usage rates of not more than 105 litres per person per day.' Reason: To ensure that the development achieves a high standard of sustainability and makes efficient use of resources and to comply with the following Development Plan policies for Merton: Policy SI 2 of the London Plan 2021 and Policy CS15 of Merton's Core Planning Strategy 2011
21. F9 hardstandings

Informatives:

Carbon emissions evidence requirements for Post Construction stage assessments must provide:

- Detailed documentary evidence confirming the Target Emission Rate (TER), Dwelling Emission Rate (DER) and percentage improvement of DER over TER based on 'As Built' SAP outputs (i.e. dated outputs with accredited energy assessor name and registration number, assessment status, plot number and development address); **OR**, where applicable:
- A copy of revised/final calculations as detailed in the assessment methodology based on 'As Built' SAP outputs; **AND**
- Confirmation of Fabric Energy Efficiency (FEE) performance where SAP section 16 allowances (i.e. CO2 emissions associated with appliances and cooking, and site-wide electricity generation technologies) have been included in the calculation

Water efficiency evidence requirements for post construction stage assessments must provide:

- Documentary evidence representing the dwellings 'As Built'; detailing:

- the type of appliances/ fittings that use water in the dwelling (including any specific water reduction equipment with the capacity / flow rate of equipment);
- the size and details of any rainwater and grey-water collection systems provided for use in the dwelling; AND:
- Water Efficiency Calculator for New Dwellings; OR
- Where different from design stage, provide revised Water Efficiency Calculator for New Dwellings and detailed documentary evidence (as listed above) representing the dwellings 'As Built'

Informative:

No surface water runoff should discharge onto the public highway including the public footway or highway. When it is proposed to connect to a public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required (contact no. 0845 850 2777).

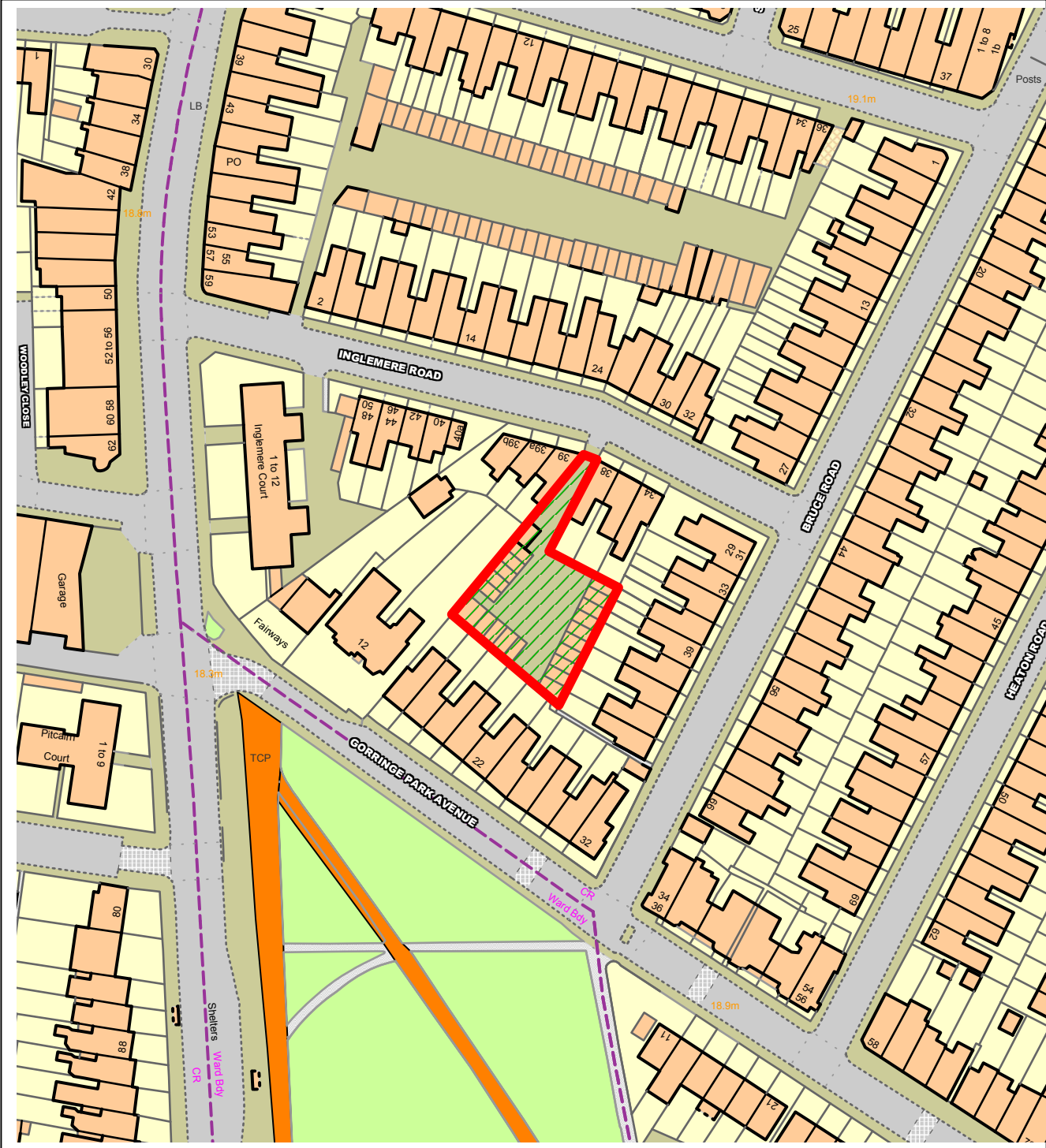
No waste material, including concrete, mortar, grout, plaster, fats, oils and chemicals shall be washed down on the highway or disposed of into the highway drainage system.

The applicant is advised to check the requirements of the Party Wall Act 1996 relating to work on an existing wall shared with another property, building on the boundary with a neighbouring property, or excavating near a neighbouring building. Further information is available at the following link: <http://www.planningportal.gov.uk/buildingregulations/buildingpolicyandlegislation/currentlegislation/partywallact>

NPPF informative.

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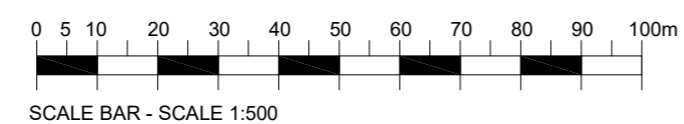
NORTHGATE SE GIS Print Template



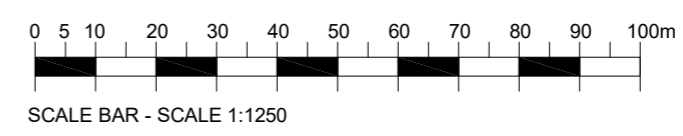
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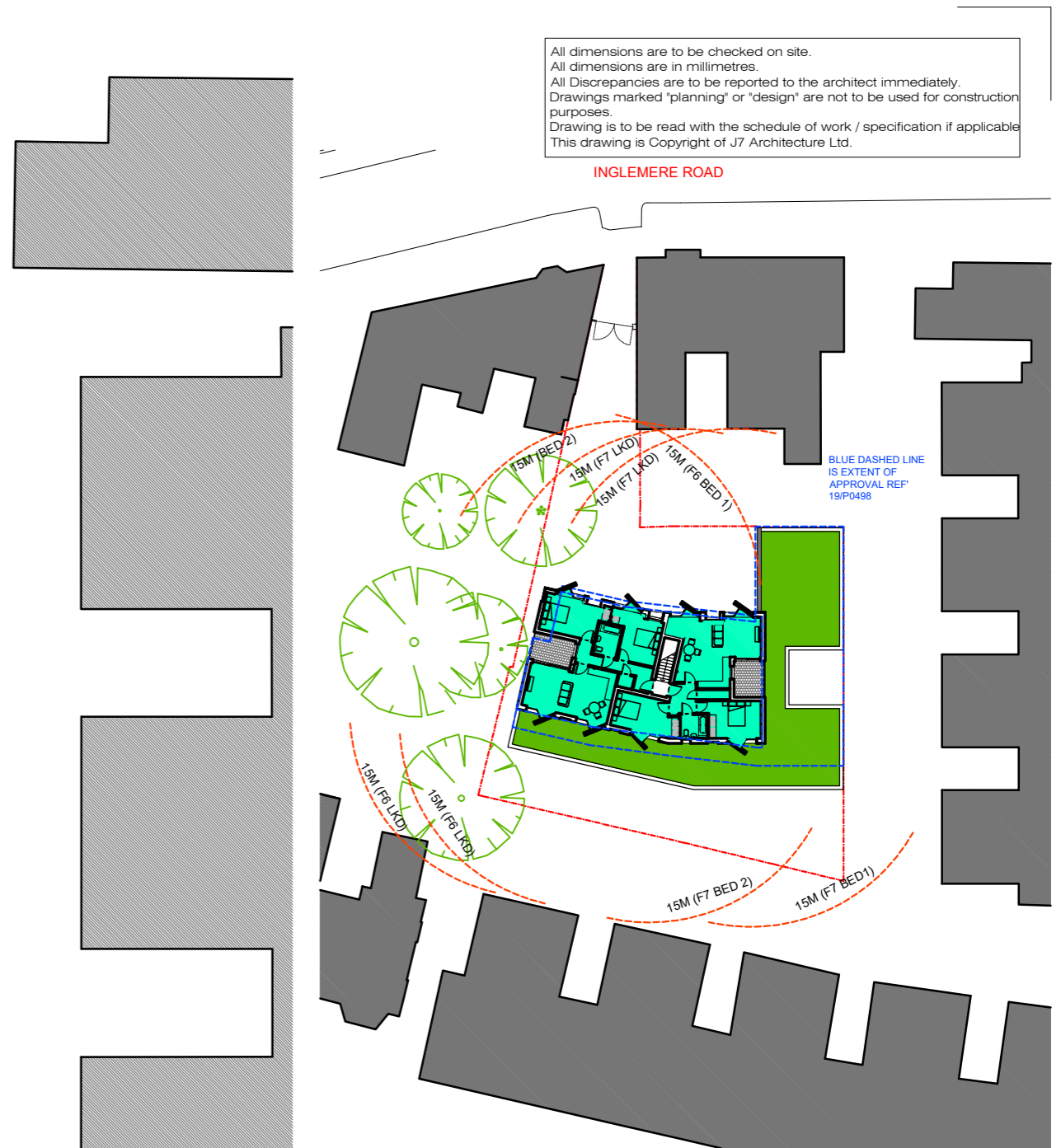
EXISTING BLOCK PLAN
 SCALE 1:500



SITE LOCATION PLAN
 SCALE 1:1250

REVISION DESCRIPTION	REV	DATE	BY
 architects lse 1st Architects lse, Studio 1, 128 Robinson Rd, London, SW17 9DR T:0208 767 1311 E:london@1starchitects.com www.london.1starchitects.com			
CLIENT J. WADE	SCALE AS NOTED		
PROJECT LAND TO REAR OF 36, 36A, 38, 38A INGLEMERE ROAD CR4 2BT	DATE APRIL 2020		
DRAWING TITLE SITE LOCATION PLAN & EXISTING BLOCK PLAN	BY JS		
STATUS PLANNING	JOB No. 20-507		
	DWG No. 20-507-EX01		

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Indication of privacy distances added to Blockplan Boundary walls to replace fence to SW & SE

REVISION DESCRIPTION	REV	DATE	BY

1 architects lse

1st Architects lse, Studio 1,
 128 Robinson Rd, London, SW17 9DR
 T:0208 767 1311 E:london@1starchitects.com
 www.london.1starchitects.com

CLIENT J. WADE	SCALE 1:200
PROJECT LAND TO REAR OF 36, 36A, 38, 38A INGLEMERE ROAD CR4 2BT	DATE APRIL 2020
DRAWING TITLE PROPOSED SITE PLAN & BLOCK PLAN	BY JS
STATUS PLANNING	JOB No. 20-507
	DWG No. 20-507-PR01A

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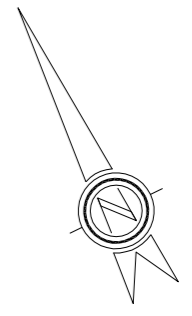
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PROPOSED GROSS INTERNAL FLOOR AREAS

GROUND	FLAT 1 (2b3p)	61.6 sq.m
GROUND	FLAT 2 (1b2p)	51.7 sq.m
GROUND	FLAT 3 (2b4p)	70.8 sq.m
GROUND	FLAT 4 (2b4p)	70.3 sq.m
GROUND	FLAT 5 (1b2p)	50.7 sq.m
FIRST	FLAT 6 (2b4p)	71.7 sq.m
FIRST	FLAT 7 (2b4p)	76.1 sq.m

New 1.8m high brick wall



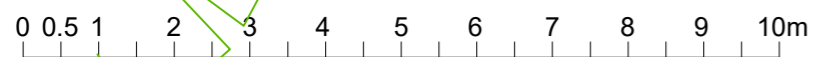
**PROPOSED GROUND FLOOR PLAN
 SCALE 1:100**

Boundary walls to replace fence to SW & SE D 16-04-21 JS
 Floor area schedule updated (Flat 7) C 06-12-20 JS
 Floor area schedule updated (Flats 6 & 7) B 08-10-20 JS

REVISION DESCRIPTION	REV	DATE	BY

1 architects lse
 1st Architects lse, Studio 1,
 128 Robinson Rd, London, SW17 9DR
 T:0208 767 1311 E:london@1starchitects.com
 www.london.1starchitects.com

CLIENT J. WADE	SCALE 1:100
PROJECT LAND TO REAR OF 36, 36A, 38, 38A INGLEMERE ROAD CR4 2BT	DATE APRIL 2020
DRAWING TITLE PROPOSED GROUND FLOOR PLAN	BY JS
STATUS PLANNING	JOB No. 20-507
	DWG No. 20-507-PR02D



SCALE BAR - SCALE 1:100

Page 201

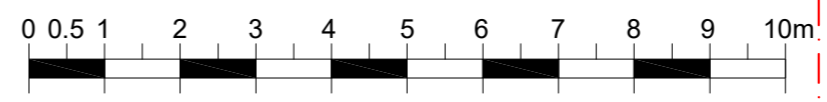
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PROPOSED FIRST FLOOR PLAN
 SCALE 1:100



SCALE BAR - SCALE 1:100

Bay windows design amended	E	03-12-20	JS
Window louvres omitted from bedrooms in favour of unobstructed glazing within bay windows.	D	25-11-20	JS
Window louvres amended to match approval inc' projecting surround / additional outlook to F7 L/K/D from kitchen area	C	17-11-20	JS
Bay windows to Living Rooms (Flat 6 & 7)	B	08-10-20	JS

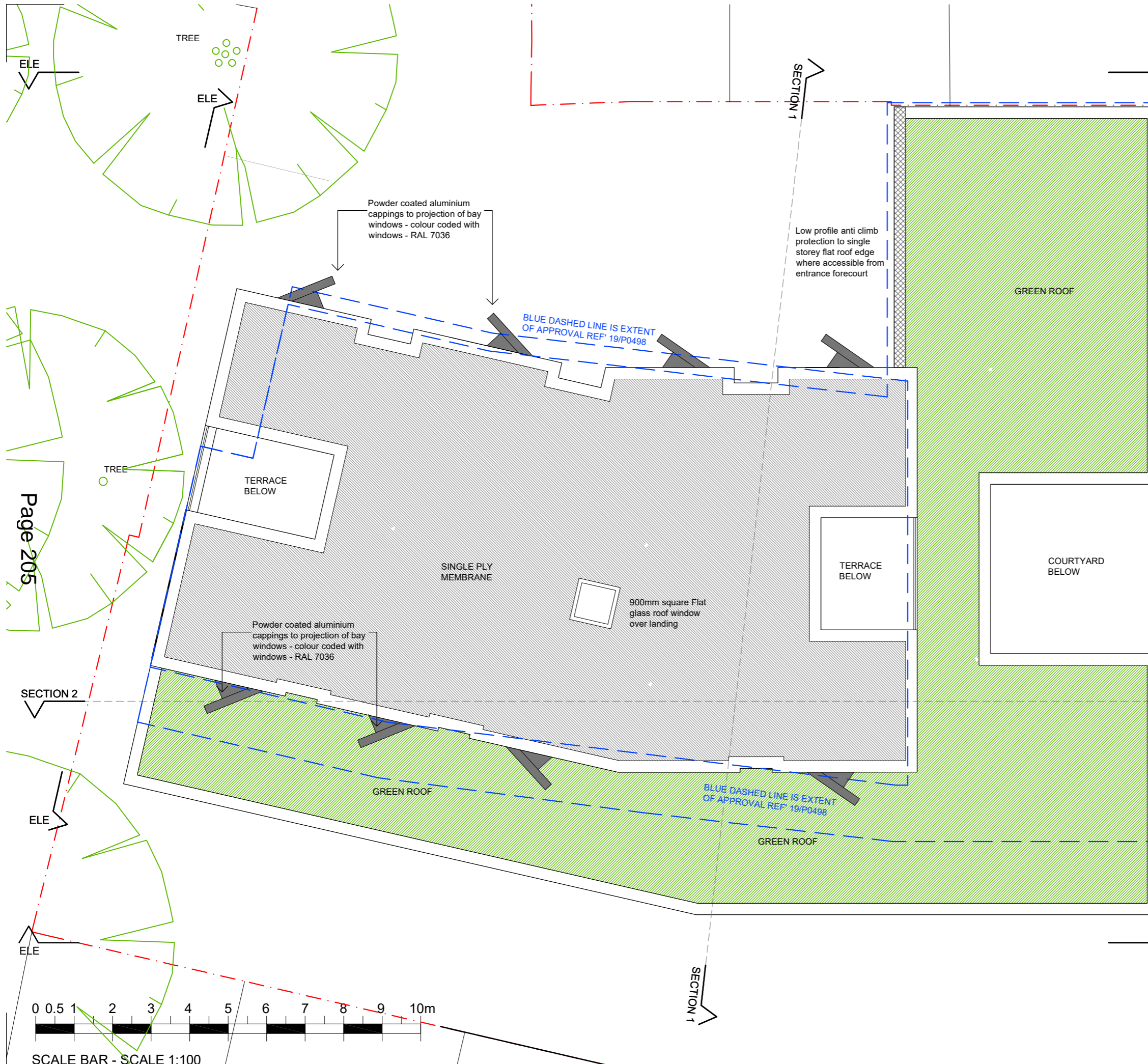
REVISION DESCRIPTION	REV	DATE	BY
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1 architects lse
 1st Architects lse, Studio 1,
 128 Robinson Rd, London, SW17 9DR
 T:0208 767 1311 E:london@1starchitects.com
 www.london.1starchitects.com

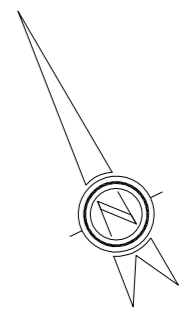
CLIENT J. WADE	SCALE 1:100
PROJECT LAND TO REAR OF 36, 36A, 38, 38A INGLEMERE ROAD CR4 2BT	DATE APRIL 2020
DRAWING TITLE PROPOSED 1ST FLOOR PLAN	BY JS
STATUS PLANNING	JOB No. 20-507
	DWG No. 20-507-PR03E

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PROPOSED ROOF PLAN
SCALE 1:100

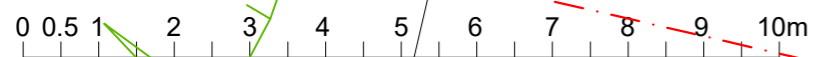


Page 205

REVISION DESCRIPTION	REV	DATE	BY
Rooflight added	F	10-02-21	JS
Bay windows design amended	E	03-12-20	JS
Window louvres omitted from bedrooms in favour of unobstructed glazing within bay windows.	D	25-11-20	JS
Bay window cappings amended inc' projecting surround	C	17-11-20	JS
Bay windows cappings to Flat 6	B	08-10-20	JS

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CLIENT J. WADE	SCALE 1:100
PROJECT LAND TO REAR OF 36, 36A, 38, 38A INGLEMERE ROAD CR4 2BT	DATE APRIL 2020
DRAWING TITLE PROPOSED ROOF PLAN	BY JS
STATUS PLANNING	JOB No. 20-507
	DWG No. 20-507-PR04F

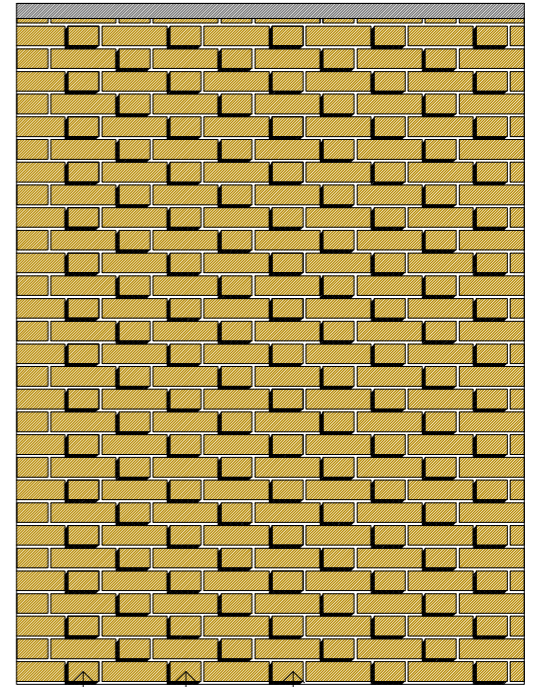


SCALE BAR - SCALE 1:100

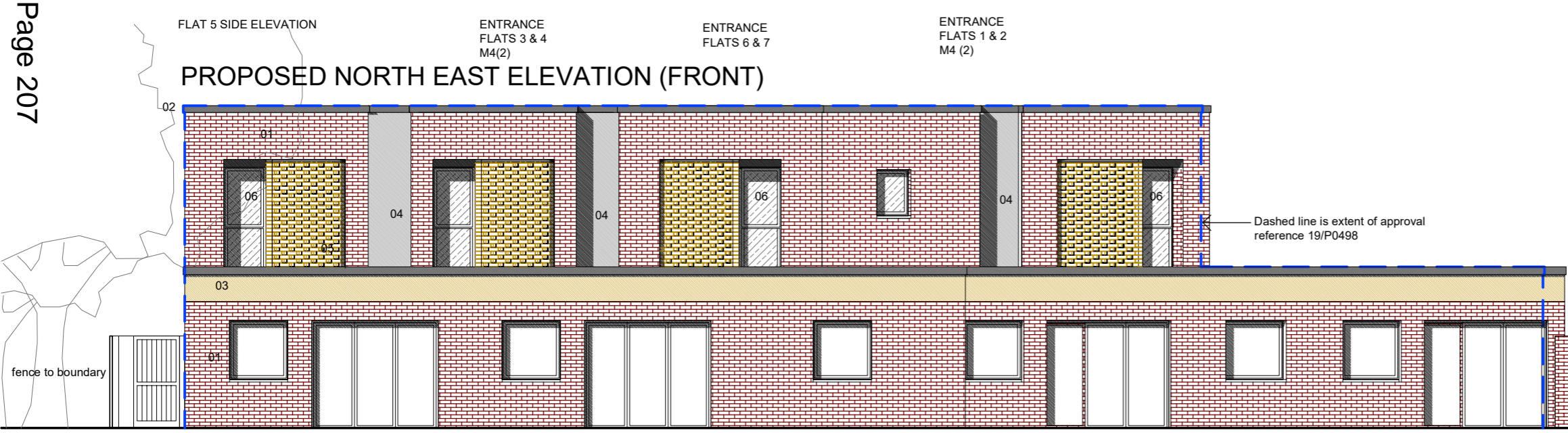
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KEY	
01	FACING BRICKWORK
02	ALUMINIUM CAPPING RAL 7036
03	RECONSTITUTED STONE BAND COURSE
04	SELF COLOURED RENDER
05	BAY WINDOW PANELS IN FEATURE BRICKWORK
06	OBSCURE GLAZING



DECORATIVE BRICK PANEL
 ELEVATION
 SCALE 1:25



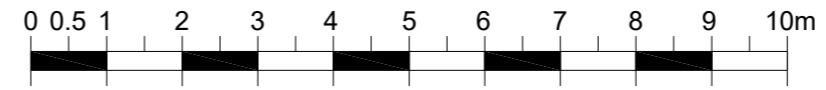
PROPOSED SOUTH WEST ELEVATION (REAR)

Boundary walls to replace fence to SE boundary	E	16-04-21	JS
Bay windows design amended	D	03-12-20	JS
Window louvres omitted from bedrooms in favour of unobstructed glazing within bay windows.	C	25-11-20	JS
Window louvres amended to match approval inc' projecting surround	B	17-11-20	JS
Bay windows to Living Rooms (Flat 6 & 7)	A	08-10-20	JS

REVISION DESCRIPTION	REV	DATE	BY
----------------------	-----	------	----

1 architects lse
 1st Architects lse, Studio 1,
 128 Robinson Rd, London, SW17 9DR
 T:0208 767 1311 E:london@1starchitects.com
 www.london.1starchitects.com

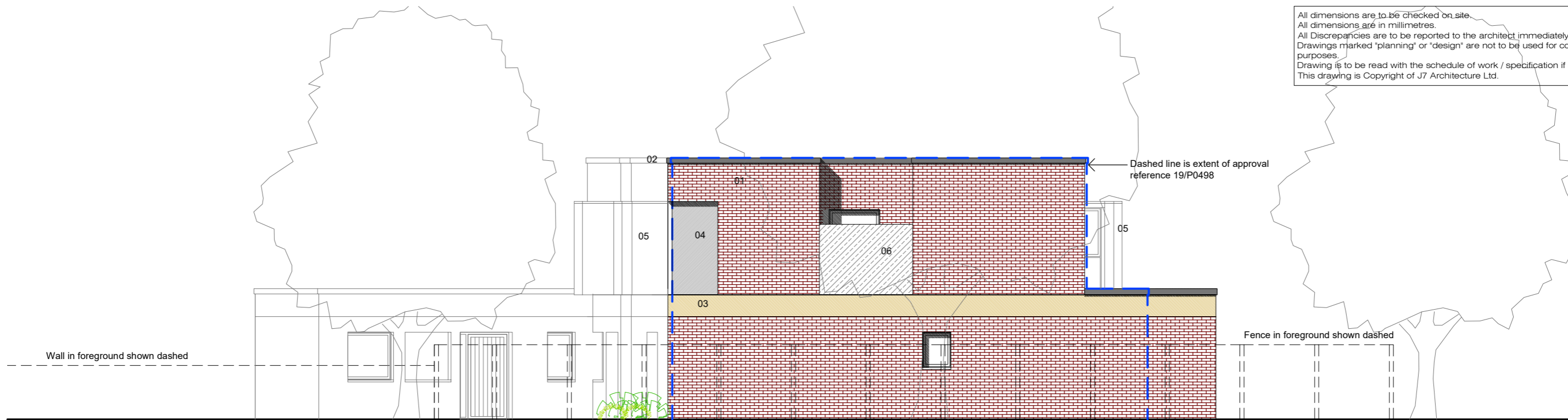
CLIENT J. WADE	SCALE AS NOTED
PROJECT LAND TO REAR OF 36, 36A, 38, 38A INGLEMERE ROAD	DATE APRIL 2020
DRAWING TITLE PROPOSED N.E (FRONT) & S.W (REAR) ELEVATIONS	BY JS
STATUS PLANNING	JOB No. 20-507
	DWG No. 20-507-PR05E



SCALE BAR - SCALE 1:100

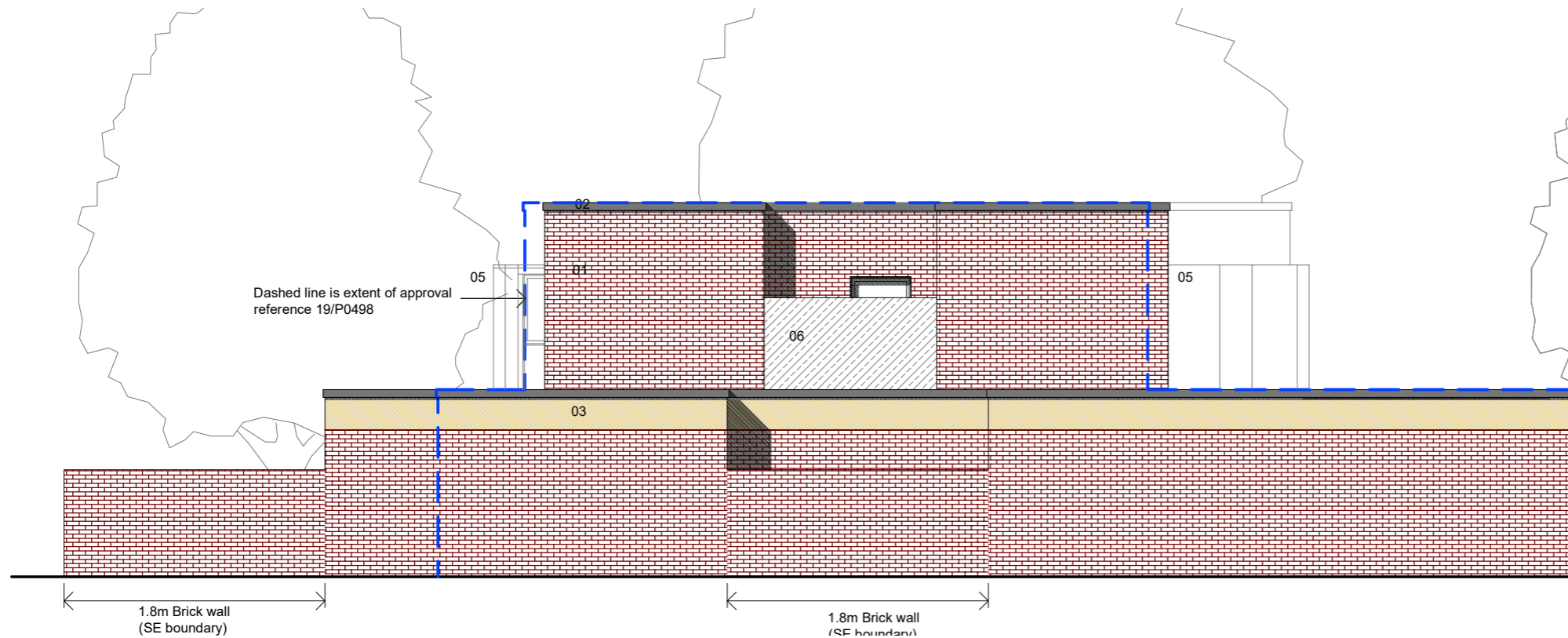
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 Drawings marked "planning" or "design" are not to be used for construction purposes.
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PROPOSED NORTH WEST ELEVATION (SIDE)

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PROPOSED SOUTH EAST ELEVATION (SIDE)

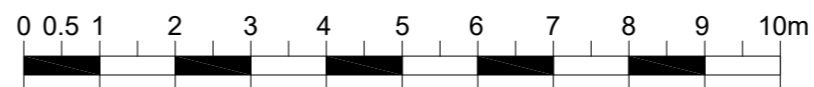
Boundary walls to replace fence to SE boundary	F	16-04-21	JS
Bay windows design amended	E	03-12-20	JS
Window louvres omitted from bedrooms in favour of unobstructed glazing within bay windows.	D	25-11-20	JS
Window louvres amended to match approval inc' projecting surround	C	17-11-20	JS
Flat 7 courtyard window amended	B	08-10-20	JS

REVISION DESCRIPTION	REV	DATE	BY
----------------------	-----	------	----

1 architects lse
 1st Architects lse, Studio 1,
 128 Robinson Rd, London, SW17 9DR
 T:0208 767 1311 E:london@1starchitects.com
 www.london.1starchitects.com

CLIENT J. WADE	SCALE AS NOTED
PROJECT LAND TO REAR OF 36, 36A, 38, 38A INGLEMERE ROAD	DATE APRIL 2020
DRAWING TITLE PROPOSED N.W (SIDE) & S.E (SIDE) ELEVATIONS	BY JS
STATUS PLANNING	JOB No. 20-507
	DWG No. 20-507-PR06F

KEY	
01	FACING BRICKWORK
02	ALUMINIUM CAPPING RAL 7036
03	RECONSTITUTED STONE BAND COURSE
04	SELF COLOURED RENDER
05	BAY WINDOW PANELS IN FEATURE BRICKWORK
06	OBSCURE GLAZING



SCALE BAR - SCALE 1:100

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PLANNING APPLICATIONS COMMITTEE

29th April 2021

	<u>APPLICATION NO.</u>	<u>DATE VALID</u>
	20/P3898	21/12/2020
Address/Site:	52 Parkway Raynes Park SW20 9HF	
Ward:	West Barnes	
Proposal:	ERECTION OF RAISED TIMBER DECKING IN THE REAR GARDEN WITH PRIVACY SCREEN	
Drawing No.'s:	002; 005 Rev A; 006 Rev B; 006; 007; 008; 009; 010; 011; Proposed Rear Elevation; Site Location Plan;	
Contact Officer:	Jourdan Alexander (020 8545 3112)	

RECOMMENDATION

Grant planning permission subject to conditions.

CHECKLIST INFORMATION

- S106: No
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: No
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 4
- External consultations: 0
- Conservation area: No
- Listed building: No
- Tree protection orders: No
- Controlled Parking Zone: No
- Archaeological priority zone: No

1. INTRODUCTION

- 1.1 This application is being brought to the Planning Applications Committee for determination due to the nature of the objections received, and that the application seeks to retain an unauthorised development. Officers consider that its determination in the event of approval falls outside the Scheme of Delegation to officers

2. SITE AND SURROUNDINGS

- 2.1 The application site is a two storey semi-detached dwelling located on the south-west side of Parkway in Raynes Park. The building forms a pair with No. 50 Parkway.
- 2.2 The property has an existing rear extension that sits at raised ground floor level. There is a newly built timber deck at rear with stairs that links the garden with the rear extension's openings.
- 2.3 The site is not located in a Conservation area nor is it a listed building

3. CURRENT PROPOSAL

- 3.1 The proposal seeks retrospective permission for the raised timber decking constructed at rear of building, as well as new stairs that provide access onto the garden. The new timber decking has replaced an earlier timber deck of the same height, but is larger with a depth of approximately 2m, and stretches to the property's side boundary with No 50 Parkway. The deck is enclosed by a metal balustrade. Stairs have been formed to connect the deck with garden level, situated beside the boundary with No 50 Parkway. Timber screens are proposed to provide visual screening between the subject property and 50 Parkway.

4. PLANNING HISTORY

- 4.1 05/P0017 - EXTENSION TO SIDE ROOF SLOPE (TO COMPRISE HIP TO GABLE EXTENSION) AND REAR ROOF SLOPE. Grant Permission
- 4.2 05/P0939 - RETENTION OF REAR DORMER ROOF EXTENSION WITH BALCONY. Grant Permission

- 4.3 12/P0109 - ERECTION OF AN OUTBUILDING TO PROVIDE A GARAGE AND A MUSIC ROOM.
Refuse Permission
The proposed outbuilding, by reason of size, siting and design would be both visually prominent and unduly dominant, to the detriment of the visual amenities of neighbouring occupiers, and would be contrary to policy BE.15: New Buildings and Extensions: Daylight, Sunlight, Privacy, Visual Intrusion and Noise of the Council's adopted Unitary Development Plan (October 2003).
- 4.4 12/P1240 - DEMOLITION OF GARAGE AND THE ERECTION OF AN OUTBUILDING FOR USE AS A MUSIC AND UTILITY ROOM.
Refuse Permission
The proposed outbuilding, by reason of size, siting and design would be both visually prominent and unduly dominant, to the detriment of the visual amenities of and spoiling the enjoyment of the garden and patio area of No. 54 Parkway contrary to policy BE.15: New Buildings and Extensions: Daylight, Sunlight, Privacy, Visual Intrusion and Noise of the Council's adopted Unitary Development Plan (October 2003) and Policy CS14 of the Adopted Core strategy
- 4.5 12/P3361 - APPLICATION FOR A LAWFUL DEVELOPMENT CERTIFICATE FOR AN EXISTING SINGLE STOREY REAR EXTENSION. Issue Certificate of Lawfulness

5. CONSULTATION

- 5.1 Public consultation was undertaken by way of site notice along with letters sent to 4 neighbouring properties. One representation was received. The application has since been amended to change the screening arrangement along the boundary. The amended drawings have been re-consulted with neighbours and a further representation was received by the same objector to the first proposal. As summarised:
- We recognise that the elevated positions of the houses require a high decking however we strongly oppose to i) the positioning of the stairs and (ii) the fact that the decking comes right up against our property for the following reasons:
 - Loss of privacy, as people using the stairs would have views into our rear habitable rooms. We believe the elevated patio/decking itself should not come right up to our property and there should be at least 2 metre distance between the end of the decking and our property.
 - Security, the attachment of the patio and its stairs make for an easy access to our property and makes it vulnerable to thieves now that the decking and the stairs are right up against our property.
 - Plumbing, The new plumbing that appeared as part of the decking and patio build

includes a new open pipe running right along the side of our property and pointing towards our garden which allows for their dirty water going through a new drainage to come inside our garden once running.

- Property value, we strongly feel that the installation a decking extending right out to our fence and including stairs right up against our fence will negatively affect the value of our property.
- Health and Safety, the development is not safe to use.
- With regards to the new amendment - we do not believe that the submitted drawing represents the true picture of current structure. The suggested panel will have to be built on the top of the fence which at present stands nearly 2 metres high. The staircase which goes above that height does not have a security banister or hand rail at one side and will therefore use the decorate panel to perform this function hence allowing for incidents. The panel presented as a prevention to overlooking will need to be over 3.5 metres tall. The submitted drawing does not demonstrate any of the above.

Planning Officer's comments to the objections:

- 5.2 Privacy impacts of the development are discussed within the report. The applicant would need to ensure that the building works complies with all other relevant legislation including the Building Act, in order to ensure its safe use. Property values are not material planning concern, whilst plumbing particulars also fall outside the scope of planning control. There is no evidence to suggest that the development would create a security issue for neighboring occupiers to an extent that planning permission could be reasonably refused. Officer's note that there is already a gate to the side of the subject building preventing access from the street to rear garden, which further adds to security.

6. POLICY CONTEXT

6.1 National Planning Policy Framework (2019)

- 11. Making effective use of land
- 12. Achieving well-designed places

6.2 London Plan (2021)

- Relevant policies include:
- D3 Optimising site capacity through the design-led approach
 - D4 Delivering good design

6.3 Merton Local Development Framework Core Strategy – 2011 (Core Strategy)

- Relevant policies include:
- CS 14 Design

6.4 Merton Sites and Policies Plan – 2014 (SPP)

- Relevant policies include:
- DM D2 Design considerations in all developments

DM D3 Alterations and extensions to existing buildings

6.5 Supplementary planning considerations

London Housing SPG – 2016

Merton Design SPG – 2004

7. PLANNING CONSIDERATIONS

7.1 The planning considerations in this case relate to the whether the development would have an acceptable level of impact toward the host dwelling, surrounding character and neighbouring amenity.

Character and Appearance

7.2 London Plan Policies D3 and D4, Core Strategy Policy CS14 and SPP Policies DMD2 and DMD3 specify requirements for well-designed proposals that will respect the appearance, scale, bulk, form, proportions, materials and character of the original building and their surroundings

7.3 At the rear of properties along Parkway there are a variety of different proportioned and designed decking built at similar levels to that erected on the applicant's property. The replacement decking with steps, whilst larger in size than previously existing appears in keeping with the pattern of development at this location. It is not considered a size, in terms of depth or width that appears out of scale. The use of timber materials with metal balustrade also appears sympathetic at this part of the house, and officers consider this to acceptable.

7.4 The applicant proposes to erect timber panels along one side of the decking to provide visual screening between the occupants of the subject property and those at 50 Parkway. The size, location, design and materials of the screening would appear visually compatible at this part of the house, and it is considered would not be intrusive to occupants at No. 50.

7.6 Overall, in terms of appearance, the development is not be considered materially harmful or out of keeping with the property.

Impact upon neighbouring amenity

7.7 SPP policy DM D2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion and noise.

7.8 Officers have inspected the enlarged timber decking next to the boundary with No 50 Parkway. The applicant was given an opportunity to amend the application so as to mitigate any potential for an adverse impact to the neighbour. The proposed amendment includes privacy screens with a height of 2.05m above the

deck and maintaining that height parallel with the steps to the garden with the existing 2m high fence retained thereafter at the foot of the steps.

- 7.9 Officers therefore consider that the screens, in addition to the existing fence, would be of a height and location so as to protect potential views from the new decking and stairs into neighbour's rear habitable rooms or towards the neighbour's own raised timber decking. With the screening erected, any impact to this neighbour with respect to privacy would be sufficiently mitigated so as not to be considered harmful. A condition has been recommended to secure the full and prompt installation of the privacy screening.
- 7.10 The adjacent neighbour no 54, would not be affected by the proposal given that there is a good degree of separation between the enlarged timber decking and this property's side boundary.
- 7.11 In terms of noise impact, occupants of the subject building could be able to generate similar levels of noise from the rear garden as configured without the decking to that now proposed. This is because the space directly to the rear of the house can be used for amenity purposes by the occupants, tables and chairs could also be sited close to the boundary fence. It is further noted that No. 50 Parkway already has raised timber decking that extends close to the boundary with the applicant neighbour. Therefore potential impacts would be largely mutual between properties.

8. CONCLUSION

- 8.1 The proposed development appears in keeping with those built on neighbouring houses and is acceptable. Suitably amended to ensure the installation of screening, the proposal would not cause any undue harm to neighbouring occupiers. It is therefore recommended to grant planning permission subject to conditions.

RECOMMENDATION

Grant planning permission subject to the following conditions.

1. Standard condition [Approved plans]: The development hereby permitted is for the deck, steps and screening as described by the following approved plans: [Refer to the schedule on page 1 of this report].

Reason: For the avoidance of doubt and in the interests of proper planning.

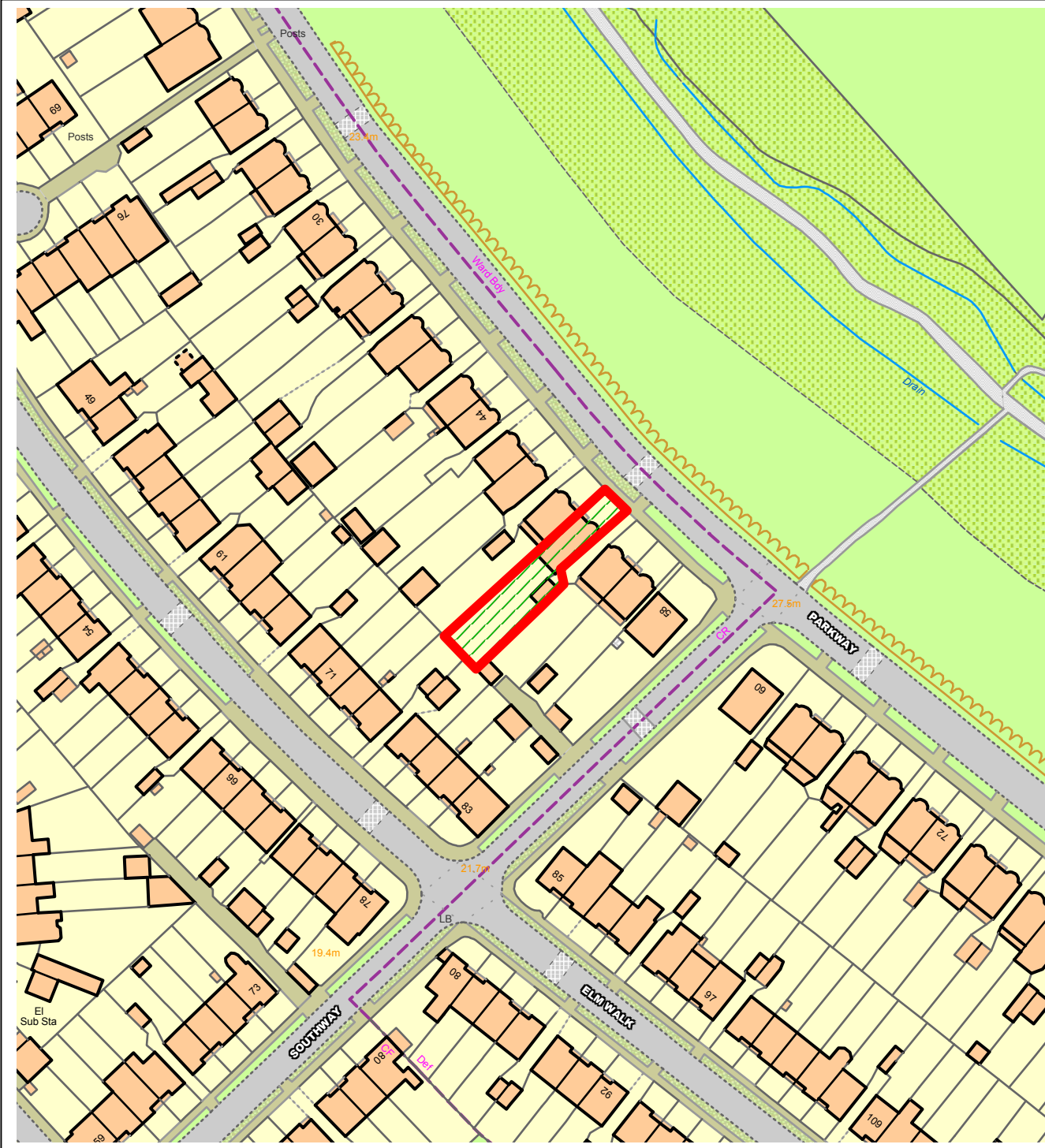
2. Within 1 month of the date of this planning permission the timber privacy screens shown on approved drawing no. 006 Rev B, shall be fully installed. Failing this,

the raised timber decking hereby approved shall not be used for sitting out or any similar purposes and shall not be brought back into use until the privacy screens have been fully installed. The privacy screens shall be retained permanently thereafter in good repair for so long as the decking and steps to the garden remain.

Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policy D3 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and DM D3 of Merton's Sites and Policies Plan 2014.

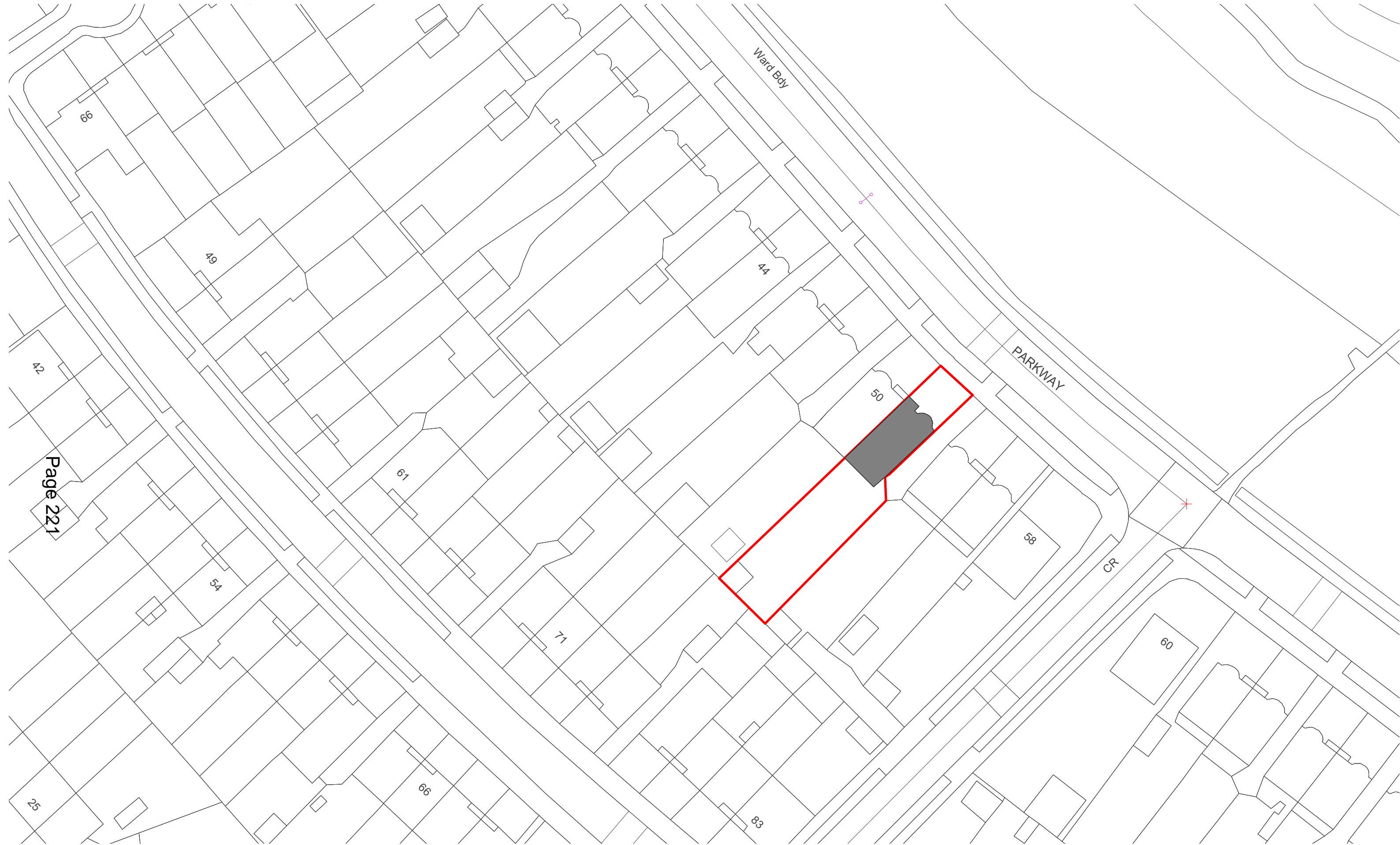
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NORTHGATE SE GIS Print Template

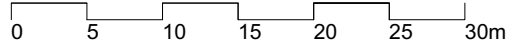
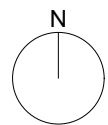


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Page 221



— Site Boundary

A	
B	
C	
D	
E	
F	
G	
H	

Drawing Title
1:500 Block Plan

Client

Job Title and Address
52 Parkway, Merton

Issue Date
04.12.2020

Drawing No
002

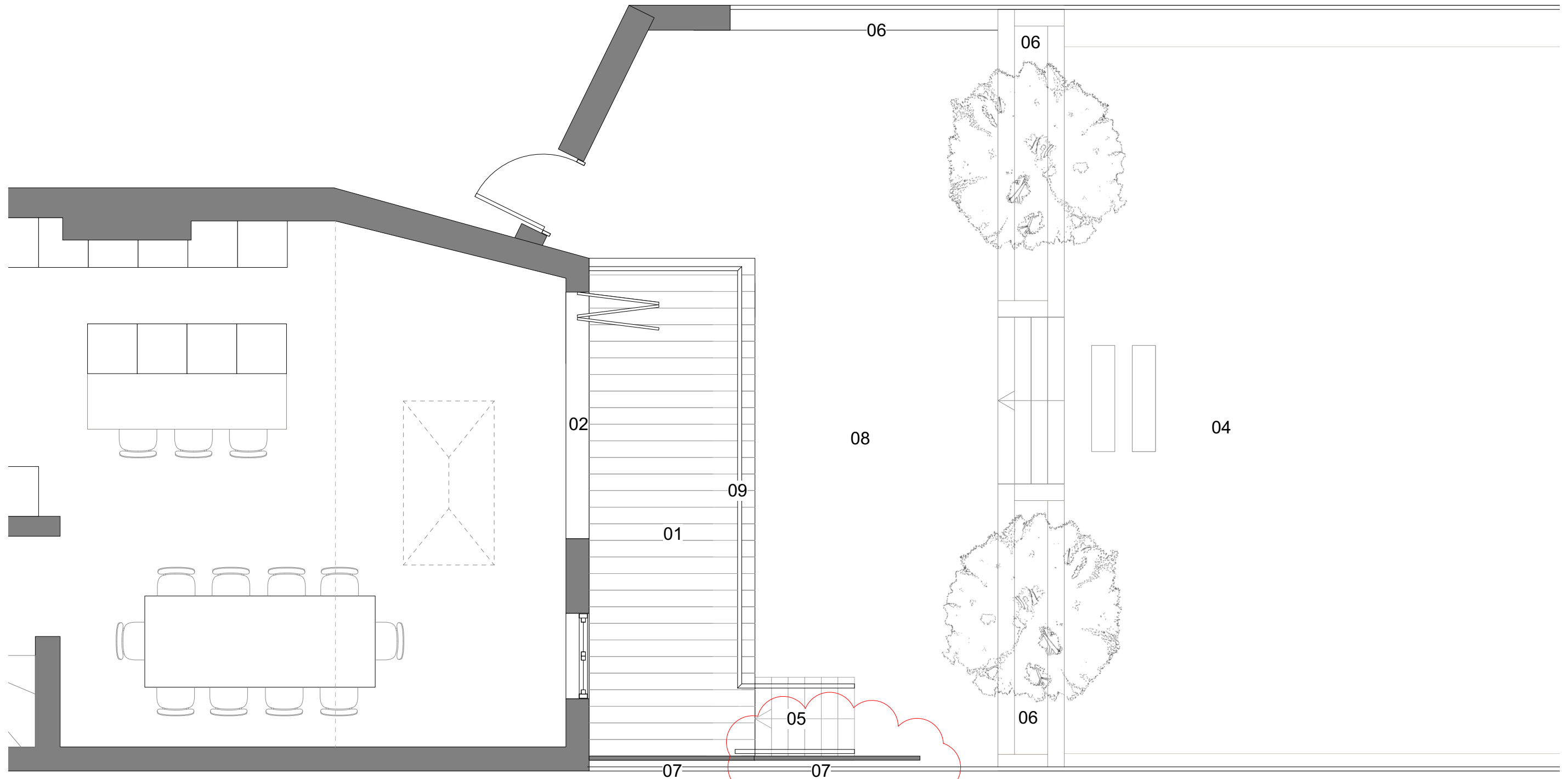
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Rev

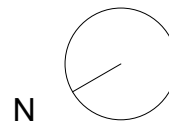
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1:250

Status
Planning

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REVISION: Additional privacy screen added to address concerns of neighbouring privacy when using new stairs on the deck. This should address overlooking concerns and look visually appearing for the neighbouring property. This is at a height of 1790mm. See drawing number 006 for more detail.



- 01 Decking
- 02 Bi-Fold doors
- 03 Concrete
- 04 Lawn
- 05 Timber stairs
- 06 Raised planter
- 07 Privacy screen
- 08 Indian Sandstone
- 09 Metal Balustrade

A	11/02/21
B	
C	
D	
E	
F	
G	
H	

Drawing Title		CH Architectural Design		
Proposed Ground Floor Plan				
Client		Issue Date	Scale @ A3	Scale @ A1
		11/02/21	1:50	1:25
Job Title and Address		Drawing No	Rev	Status
52 Parkway, Merton		005	A	Planning

General: 1. Do not scale drawings. Dimensions govern. 2. All dimensions are in millimeters unless noted otherwise. 3. All dimensions shall be verified on site before proceeding with the work. 4. CHA shall be notified in writing of any discrepancies.

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50 Parkway

52 Parkway

54 Parkway



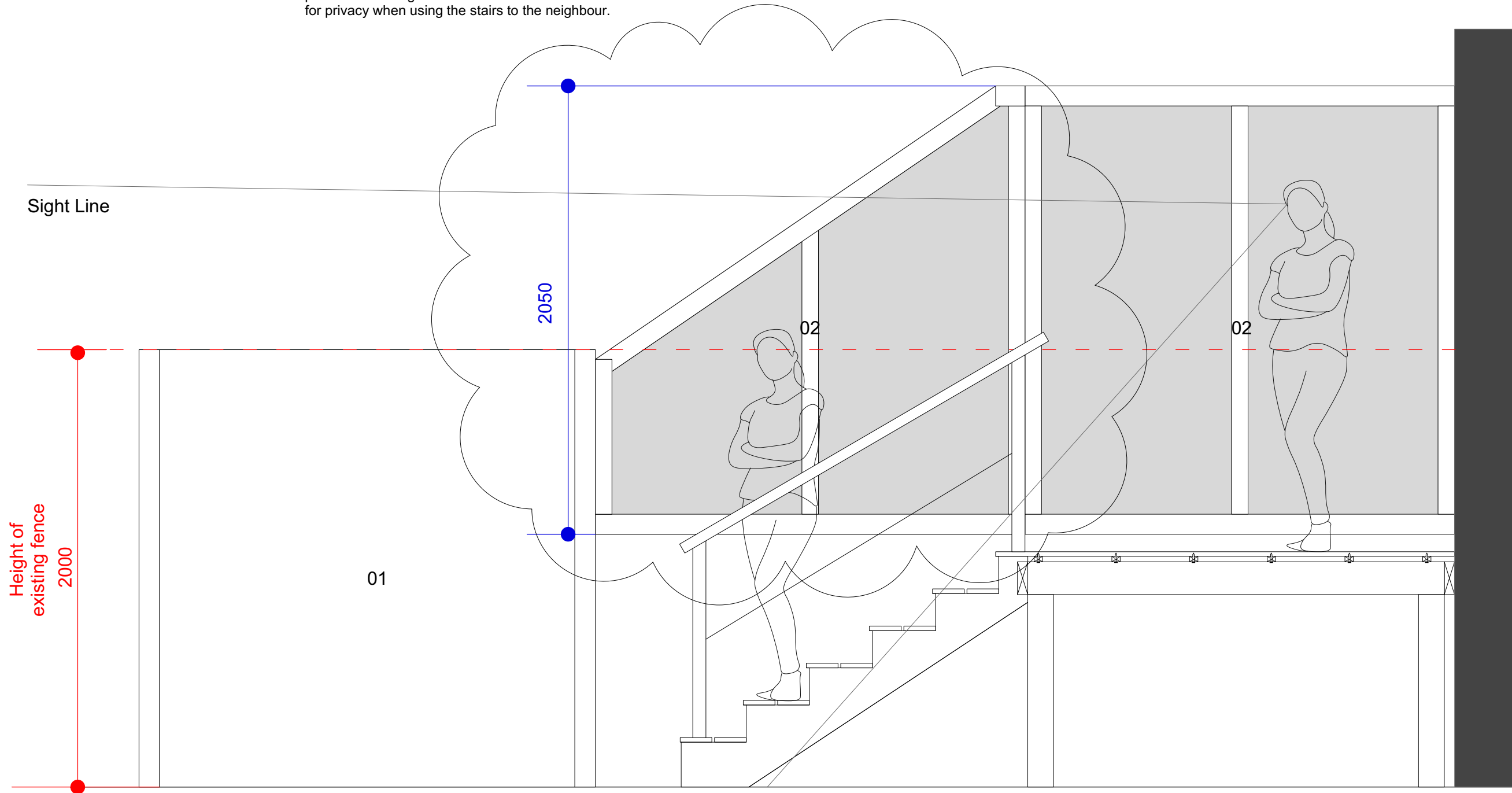
A	
B	
C	
D	
E	
F	

Drawing Title	
Proposed Rear Elevation	
Client	
Job Title and Address	
52 Parkway, Merton	

Issue Date		Scale @ A3	Scale @ A1
21.12.2020		1:100	nts
Drawing No		Rev	Status
010			Planning

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REVISION: Additional privacy screen added to address concerns of neighbouring privacy when using new stairs on the deck. This should address overlooking concerns and look visually appealing for the neighbouring property. This panel would be angled and run in parallel to the angle of the stairs. This will allow for privacy when using the stairs to the neighbour.



- 01 Existing Timber Fence
- 02 New Privacy Screen

A	11/02/21
B	26/03/21
C	
D	
E	
F	
H	

Drawing Title	
Privacy Screen Detail	
Client	
Dan and Lizzie Bloxham	
Job Title and Address	
52 Parkway, Merton	

CH Architectural Designer		
Issue Date	Scale @ A3	Scale @ A1
26/03/21	1:20	1:10
Drawing No	Rev	Status
006	B	Planning

General: 1. Do not scale drawings. Dimensions govern. 2. All dimensions are in millimeters unless noted otherwise. 3. All dimensions shall be verified on site before proceeding with the work. 4. CHA shall be notified in writing of any discrepancies.

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PLANNING APPLICATIONS COMMITTEE
29th April 2021

Item No:

UPRN

APPLICATION NO.

DATE VALID

21/P0197

08/01/2021

Address/Site:

19A - 19F Prince's Road, Wimbledon, London, SW19 8RQ

(Ward)

Trinity

Proposal:

APPLICATION TO DETERMINE WHETHER PRIOR APPROVAL IS REQUIRED IN RESPECT OF ERECTION OF SECOND FLOOR EXTENSION IN CONNECTION WITH CREATION OF TWO SELF-CONTAINED FLATS (2 X 2 BEDROOM)

Drawing Nos:

0000, 1100, 2100, 3001, 3100, 3102 & 3103

Contact Officer:

David Gardener (0208 545 3115)

RECOMMENDATION

GRANT Prior approval subject to conditions and S106 Agreement

CHECKLIST INFORMATION

- Heads of agreement: Permit free
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Impact Assessment been submitted: No
- Press notice: No
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 97
- External consultations: None

1. INTRODUCTION

- 1.1 The applications have been brought before the Planning Applications Committee due to the number of representations received as a result of public consultation.
- 1.2 This is an application under The Town and Country Planning (Permitted Development and Miscellaneous Amendments) (England) (Coronavirus) Regulations 2020, Part 20, Class A: Development consisting of works for the

construction of up to two additional storeys of new dwellinghouses immediately above the existing topmost residential storey on a building which is a purpose-built, detached block of flats. Therefore, the only issues that can form material considerations are as follows (a) transport and highways impacts of the development; (b) air traffic and defence asset impacts of the development; (c) contamination risks in relation to the building; (d) flooding risks in relation to the building; (e) the external appearance of the building; (f) the provision of adequate natural light in all habitable rooms of the new dwellinghouses; (g) impact on the amenity of the existing building and neighbouring premises including overlooking, privacy and the loss of light; and (h) whether because of the siting of the building, the development will impact on a protected view identified in the Directions Relating to Protected Vistas dated 15 March 2012(3) issued by the Secretary of State.

1.3 The assessment against these criteria is set out later in this report.

2. SITE AND SURROUNDINGS

2.1 The site comprises 19 Prince's Road, a three storey flatted block, to the southern side of Prince's Road. The building has a flat roof and is constructed from facing brickwork and tile hanging. The building is typical of 1970s residential architecture. To the rear of the site is a parking area with garages. There are also individual private gardens to the ground floor flats, to the rear part of the site.

2.2 The site is not within a Conservation Area although the Merton (South Park Gardens) Conservation Area lies to the immediate north of the site. The existing buildings on site are not locally or statutorily listed.

2.3 The site is in a controlled parking zone (Zone W3) and has excellent access to public transport (PTAL 6a).

3. CURRENT PROPOSAL

3.1 The application proposes the erection of a single storey extension on top of the building in connection with the creation of 2 x one bedroom flats.

3.2 The extension would feature a flat roof and feature white and light grey facing materials.

3.3 The application also proposes replacing the hung red clay tiles on the existing front elevations with London Stock brick, to match the existing brickwork. The existing white parapet located on the front of the building would be extended around the remainder of the building.

3.3 Two off-street car parking spaces would be provided at the rear and 1 x cycle space for each flat would be located under the stair in the entrance lobby.

4. PLANNING HISTORY

The following planning history is relevant:

4.1 17/P4382 - ERECTION OF A SINGLE STOREY ROOF EXTENSION TO CREATE 2 X SELF-CONTAINED FLATS. Refused - 19/03/2018, for the following reasons:

- 1) The proposed development, by virtue of its excessive height, massing and design would have a detrimental impact on the streetscene when viewed from Prince's Road and surrounding streets and would fail to preserve or enhance the setting of the adjoining Merton (South Park Gardens) Conservation Area contrary to Policies DM D2, DM D3 and DM D4 of the Sites and Policies Plan 2014 and Policy CS14 of the Core Planning Strategy 2011.
- 2) The proposed development would result in two additional residential units, the site is located in a controlled parking zone, has excellent links to public transport and there is no legal agreement in place for the units to be permit free, contrary to the requirements of policy CS20 of the Core Planning Strategy 2011.

The application was subsequently dismissed at appeal on 24th September 2018 (Planning Inspector Ref: APP/T5720/W/18/3200657)

4.2 Pre-application advice was sought in June 2019 for the erection of a single storey roof extension set back on all sides from the main building comprising 1 x 2 bed dwelling (Ref: 19/P2021).

4.3 20/P1361 - ERECTION OF ROOF EXTENSION IN CONNECTION WITH CREATION OF 2 x 1 BED FLATS. Refused - 12/06/2020, for the following reason:

- 1) The proposed development, due to a combination of its excessive height, bulk, massing and design would have a detrimental impact on the Prince's Road street scene and would fail to preserve or enhance the setting of the adjoining Merton (South Park Gardens) Conservation Area contrary to policies DM D2, DM D3 and DM D4 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) and Policy CS14 of the Core Strategy (2011).

5. POLICY CONTEXT

5.1 The following policies from the Adopted Sites and Policies Plan and Policies Maps (July 2014):

DM D1 (Urban design and the public realm), DM D2 (Design considerations in all developments), DM D3, (Alteration and extensions to buildings), DM E3 (Protection of scattered employment sites), DM F1 (Support for Flood Risk Management), DM F2 (Sustainable urban drainage systems (SuDS)), DM O2 (Nature Conservation, Trees, hedges and landscape features), DM T1 (Support

for sustainable transport and active travel), DM T2 (Transport impacts of development), DM T3 (Car parking and servicing standards)

5.2 Adopted Core Strategy (July 2011)
CS.13 (Open space, nature conservation, leisure and culture), CS.14 (Design)

5.3 London Plan (March 2021)
D4 (Delivering Good Design), D5 (Inclusive Design), D6 (Housing quality and standards), H1 (Increasing housing supply), SI 2 (Minimising greenhouse gas emissions), T5 (Cycling), T6 (Car parking), T7 (Deliveries, servicing and construction)

5.4 National Planning Policy Framework (2019)

6. CONSULTATION

6.1 The application has been publicised by means of a site notice procedure with individual letters also sent to occupiers of neighbouring properties. In response, 39 letters of objection, including an objection from Friends of Wimbledon Town Centre, were received on the following grounds:

- Incongruous design/out of character with existing building and surrounding area/overdevelopment of site
- Poor design
- Excessive height/impact on skyline/unduly prominent and out of scale with surrounding buildings
- Loss of outlook/overlooking/overbearing/loss of daylight and sunlight
- Would not respect the local distinctiveness/historic value of local area
- Would set poor precedent
- Impact on public and private views from adjacent Conservation Area
- Car parking and traffic impact
- Inspectors report from previous refused application implies that a roof extension is not acceptable given minimum height that would be required
- Disruption during construction
- Has not addressed concerns of previous applications refused by the Council and dismissed at appeal
- Comparisons in height to neighbouring buildings misleading due to different roof forms
- Harmful impact on living conditions of residents of existing building

7. PLANNING CONSIDERATIONS

7.1 This is an application under The Town and Country Planning (Permitted Development and Miscellaneous Amendments) (England) (Coronavirus) Regulations 2020, Part 20, Class A: Development consisting of works for the construction of up to two additional storeys of new dwellinghouses immediately above the existing topmost residential storey on a building which is a purpose-built, detached block of flats.

- 7.2 Therefore, subject to various size/height restrictions, at the time of the application being submitted, the only issues that can form material considerations are as follows:
- (a) transport and highways impacts of the development;
 - (b) air traffic and defence asset impacts of the development;
 - (c) contamination risks in relation to the building;
 - (d) flooding risks in relation to the building;
 - (e) the external appearance of the building;
 - (f) the provision of adequate natural light in all habitable rooms of the new dwellinghouses;
 - (g) impact on the amenity of the existing building and neighbouring premises including overlooking, privacy and the loss of light; and
 - (h) whether because of the siting of the building, the development will impact on a protected view identified in the Directions Relating to Protected Vistas dated 15 March 2012(3) issued by the Secretary of State.

7.3 Key Issues for consideration

7.4 Below is an assessment of the considerations against the qualifying criteria in A.1 of Class A, Part 20 of the regulations.

- 7.5 Development is not permitted by Class A if:
- (a) the permission to use any building as a dwellinghouse has been granted only by virtue of Class M, N, O, P, PA or Q of Part 3 of this Schedule;
 - (b) above ground level, the building is less than 3 storeys in height;
 - (c) the building was constructed before 1st July 1948, or after 5th March 2018;
 - (d) the additional storeys are constructed other than on the principal part of the building;
 - (e) the floor to ceiling height of any additional storey is—
 - (i) more than 3 metres in height; or
 - (ii) more than the floor to ceiling height of any of the existing storeys, whichever is the lesser, where such heights are measured internally;
 - (f) the new dwellinghouses are not flats;
 - (g) the height of the highest part of the roof of the extended building would exceed the height of the highest part of the roof of the existing building by more than 7 metres (not including plant, in each case);
 - (h) The height of the highest part of the roof of the extended building (not including plant) would be greater than 30 metres;
 - (i) development under Class A.(a) would include the provision of visible support structures on or attached to the exterior of the building upon completion of the development;
 - (j) development under Class A.(a) would consist of engineering operations other than works within the existing curtilage of the building to—
 - (i) strengthen existing walls;
 - (ii) strengthen existing foundations; or
 - (iii) install or replace water, drainage, electricity, gas or other services;
 - (k) in the case of Class A.(b) development there is no existing plant on the building;
 - (l) in the case of Class A.(b) development the height of any replaced or additional plant as measured from the lowest surface of the new roof on the

principal part of the new building would exceed the height of any existing plant as measured from the lowest surface of the existing roof on the principal part of the existing building;

(m) development under Class A.(c) would extend beyond the curtilage of the existing building;

(n) development under Class A.(d) would—

(i) extend beyond the curtilage of the existing building;

(ii) be situated on land forward of a wall forming the principal elevation of the existing building; or

(iii) be situated on land forward of a wall fronting a highway and forming a side elevation of the existing building;

(o) the land or site on which the building is located, is or forms part of—

(i) article 2(3) land;

(ii) a site of special scientific interest;

(iii) a listed building or land within its curtilage;

(iv) a scheduled monument or land within its curtilage;

(v) a safety hazard area;

(vi) a military explosives storage area; or

(vii) land within 3 kilometres of the perimeter of an aerodrome.

7.6 Officers can confirm that the site is not or does not fall within any of the criteria set out in part a) to o) above.

7.7 Section A.2 confirms that development is permitted subject to the condition that before beginning the development, the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to:

(a) transport and highways impacts of the development;

(b) air traffic and defence asset impacts of the development;

(c) contamination risks in relation to the building;

(d) flooding risks in relation to the building;

(e) the external appearance of the building;

(f) the provision of adequate natural light in all habitable rooms of the new dwellinghouses;

(g) impact on the amenity of the existing building and neighbouring premises including overlooking, privacy and the loss of light; and

(h) whether because of the siting of the building, the development will impact on a protected view identified in the Directions Relating to Protected Vistas dated 15 March 2012(3) issued by the Secretary of State,

7.8 Transport and highways impacts of the development

7.9 Merton Core Strategy (2011) policy CS 20 and Merton Sites and Policies Plan (2014) policies DM T1 and DM T2 requires that development would not adversely affect pedestrian or cycle movements, safety, the convenience of local residents, street parking or traffic management. Policy DM T3 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that development should only provide the level of car parking required to serve the site taking into account its accessibility by public transport (PTAL) and local circumstances in accordance with London Plan standards unless a clear need

can be demonstrated. The London Plan states that all developments in areas of PTAL 5 - 6 should be car free.

- 7.10 The application site is located in a controlled parking zone (Zone W3) and has a PTAL rating of 6a, which indicates that it has excellent access to public transport services. Although the proposed development proposes one space per flat, and therefore exceeds The London Plan maximum standards it would not warrant a refusal of the application in this instance as this is not considered excessive.
- 7.11 It is considered that although one of-street car parking space will be provided per flat, a 'permit free' agreement will be necessary in this instance. This is because the site is located in a controlled parking zone, has excellent access to public transport (PTAL 6a), and each flat can be occupied by up to two persons.
- 7.12 Policy DM T1 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that development must provide cycle parking in accordance set out in the London Plan. It states that residential cycle parking facilities should be provided in secure and conveniently sited positions with good access to the street. Secure cycle storage is located in the ground floor lobby of the building with 1 space per flat provided. Although this does not comply with the latest London Plan standards published last month, which requires 1.5 spaces per 1 bedroom (2 person) units, it does comply with previous London Plan policy, which required 1 space per unit, which was the relevant policy when the application was submitted. It is therefore considered that this slight shortfall would not warrant a refusal of the application in this instance.

7.13 Air Traffic and Defence Assets

- 7.14 The site is circa 17km from Heathrow, circa 27km from Gatwick and circa 16km from Biggin Hill Airport. There are no defence assets near to the site that would be impacted by the proposal, given the overall height of the buildings.

7.15 Contamination Risks

- 7.16 The site is already in residential use and the development does not propose to penetrate the ground. Furthermore, it is therefore not expected that the proposal raises any contamination issues or risks, given that the development is at rooftop level.

7.17 Flooding Risks

- 7.18 The site is located within Flood Zone 1 indicating low probability of flooding.

7.19 The External Appearance of the Building

- 7.20 The National Planning Policy Framework (NPPF) states that planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings. The regional planning

policy advice in relation to design is found in the London Plan (2015), in Policy 7.4 - Local Character and 7.6 - Architecture. These policies state that Local Authorities should seek to ensure that developments promote high quality inclusive design, enhance the public realm, and seek to ensure that development promotes world class architecture and design. Policies DM D2 and DM D3 seek to ensure a high quality of design in all development, which relates positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings and existing street patterns, historic context, urban layout and landscape features of the surrounding area

- 7.21 It should be noted that there have been two previous applications to add an additional storey to the top of the building that have been refused on design/visual amenity grounds. The first, LBM Ref: 17/P4382, proposed a mansard roof extension. This application was refused under delegated powers and was subsequently dismissed at appeal. The Inspector stated that the proposed increase in height at this location would be clearly at odds with the more modest development immediately neighbouring the site, which would create an overbearing and unneighbourly form of development. The Inspector also stated that the use of a mansard roof would not respond to any roof forms in the immediate area with an expanse of slate across the majority of the façade. Due to the scale, mass and general bulkiness of the extension it would appear overly prominent and obtrusive when viewed from Prince's Road.
- 7.22 The second application, LBM Ref: 20/P1361, proposed a fully glazed structure with vertical walls to try and address the Inspectors concerns regarding the shape and form of the extension. However, it was considered that due to a combination of the extension's large footprint, which extends almost the full width of the building, increase in height, use of vertical walls, and contrasting design with the use of grey back painted glazed panels means the extension would appear overbearing, top heavy, and visually intrusive when viewed from Prince's Road. It was also considered that the extension would not respect the form, scale, bulk, and proportions of the original building. It was also considered that the proposal would appear visually intrusive in both public and private views when viewed from the adjacent Merton (South Park Gardens) Conservation Area.
- 7.23 It is considered that the current proposal addresses the concerns expressed by the Council and Planning Inspector in the previous applications and is now considered acceptable in terms of its height, bulk, massing, and design. The extension would be a similar height to previous applications, however its bulk and massing will be reduced due to its smaller footprint, with its flank walls now set in 1m from the buildings side elevations (previously 30cm) and its front elevation set back 2.1m (previously 1.8m) from the front of the building) in comparison to the previous application LBM Ref: 20/P1361. The extension features a flat roof which would be a similar height to No.17, which has a traditional twin pitch roof profile, and it is considered that although it would have a more bulky profile due to the design constraints of the existing building, it is acceptable, and would not be visually intrusive when viewed from the street. This is because the front elevation would be set back 2.1m from the front of the

current building and the extension features external finishes comprising white and light grey render which will give it a very lightweight appearance when viewed against the existing building. This design approach lends itself to the current architectural style of the building, whereas the previous ultra-modern fully glazed and traditional mansard style designs which were refused did not.

- 7.25 The application also proposes updating the front of existing building with the current red tile replaced by matching brickwork. This is considered acceptable as it would improve the appearance of the existing front of the building which appears dated. Overall, it is considered that the proposed extension would have an acceptable impact on the Prince's Road street scene, and from both public and private views from the adjacent Merton (South Park Gardens) Conservation Area. The proposal is therefore considered to be acceptable in terms of design and complies with relevant design policies.

7.24 The Provision of Adequate Natural Light

- 7.25 All habitable rooms have windows or French doors opening up onto private terraces. It is therefore considered that all habitable rooms have adequate access to natural light.

7.26 Impact on the Amenity of the Existing Building and Neighbouring Premises

- 7.27 Policy DM D2 of the Adopted Sites and Policies Plan and Policies Maps (July 2014) states that proposals for development will be required to ensure provision of appropriate levels of sunlight and daylight, quality of living conditions, amenity space and privacy, to both proposed and adjoining buildings and gardens. Development should also protect new and existing development from visual intrusion.

- 7.28 The proposal would result in an increase in the height of the building, however, the proposed extension is a lightweight structure which is set back from the front and rear elevations of the existing building. As a result it is considered that there would be limited visual impact when viewed from the adjoining residential buildings, Nos. 17 and 21 Prince's Road. It is also considered that there would be very limited impact on daylight/sunlight levels. To prevent any overlooking from the rear terraces, a condition will be attached requiring 1.8m high privacy screens enclose the sides of each terrace.

- 7.29 The extension would be visible from the rear elevations of properties located on Stanley Road and South Park Road. However, it is considered that the properties which comprise elevations that directly look towards the proposed development are flatted buildings located a minimum of 27m from the proposed extension which further reduces the proposed extension's visual impact.

- 7.30 Overall, the proposal would accord with relevant planning policy on neighbour amenity.

7.31 **Directions Relating to Protected Vistas dated 15 March 2012(3) issued by the Secretary of State**

7.32 These Directions relate protected vistas identified by the Mayor of London within the London View Management Framework SPG. The site does not fall within any of these views and therefore raises no concerns on this basis.

7.33 **S.106 requirements/planning obligations**

7.34 Permit Free

7.35 The development is to be 'Permit Free' in line with policy CS.20 of the Core Planning Strategy, which seek to reduce reliance on private motor vehicles in locations with good access to public transport facilities.

7.36 Local Financial Consideration

7.37 The proposed development would be subject to the Community Infrastructure Levy (CIL). This would require a contribution of £115 per additional square metre of floor space to be paid to Merton Council and an additional £60 per additional square metre to be paid to the Mayor. Further information on this can be found at: <http://www.merton.gov.uk/environment/planning/cil.htm>

7.38 **CONCLUSION**

7.39 For the reasons set out above in this report, it is concluded that the proposal would be acceptable in planning terms and would not warrant refusal. Prior approval is therefore recommended to be granted.

RECOMMENDATION

GRANT Prior Approval subject to the completion of a S106 agreement covering the following heads of terms:

1. Permit free
2. Paying the Council's legal and professional costs in drafting, completing and monitoring the legal agreement.

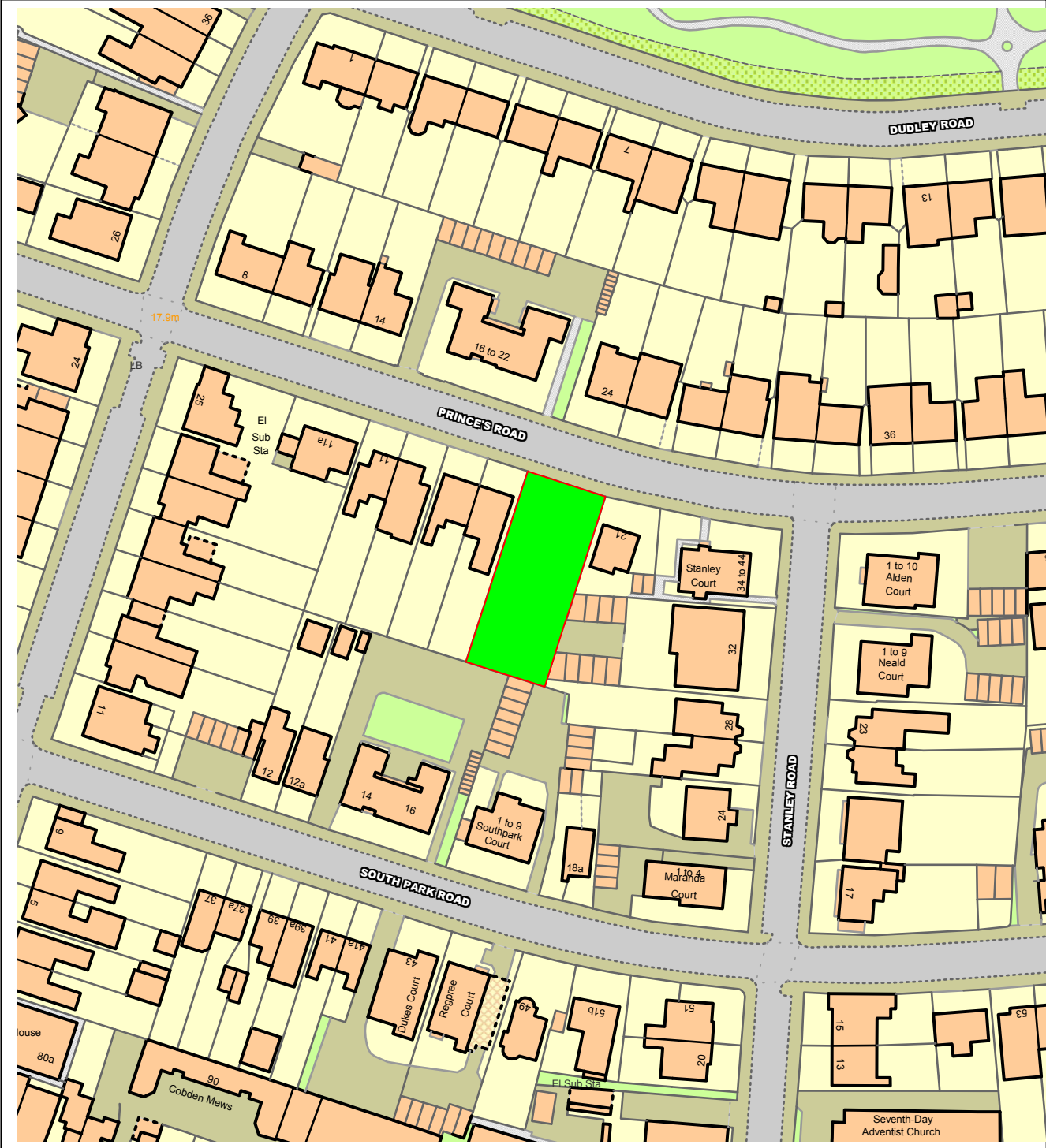
And subject to the following conditions:

1. A.1 (Commencement of Development)
2. B.1 (External Materials to be approved)
3. C.6 (Refuse and Recycling (Details to be Submitted))
4. C.10 (Balcony or External Staircase (Screening details to be provided))
5. D.11 (Hours of Construction)

6. H.6 (Cycle Parking – Details to be Submitted)
7. No use of flat roof (apart from designated terraces)
8. Construction Management Plan

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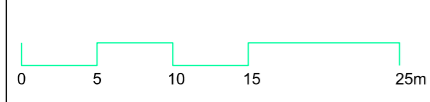


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New dedicated parking space

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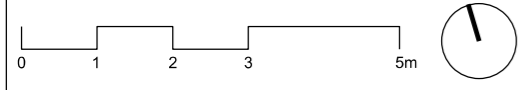
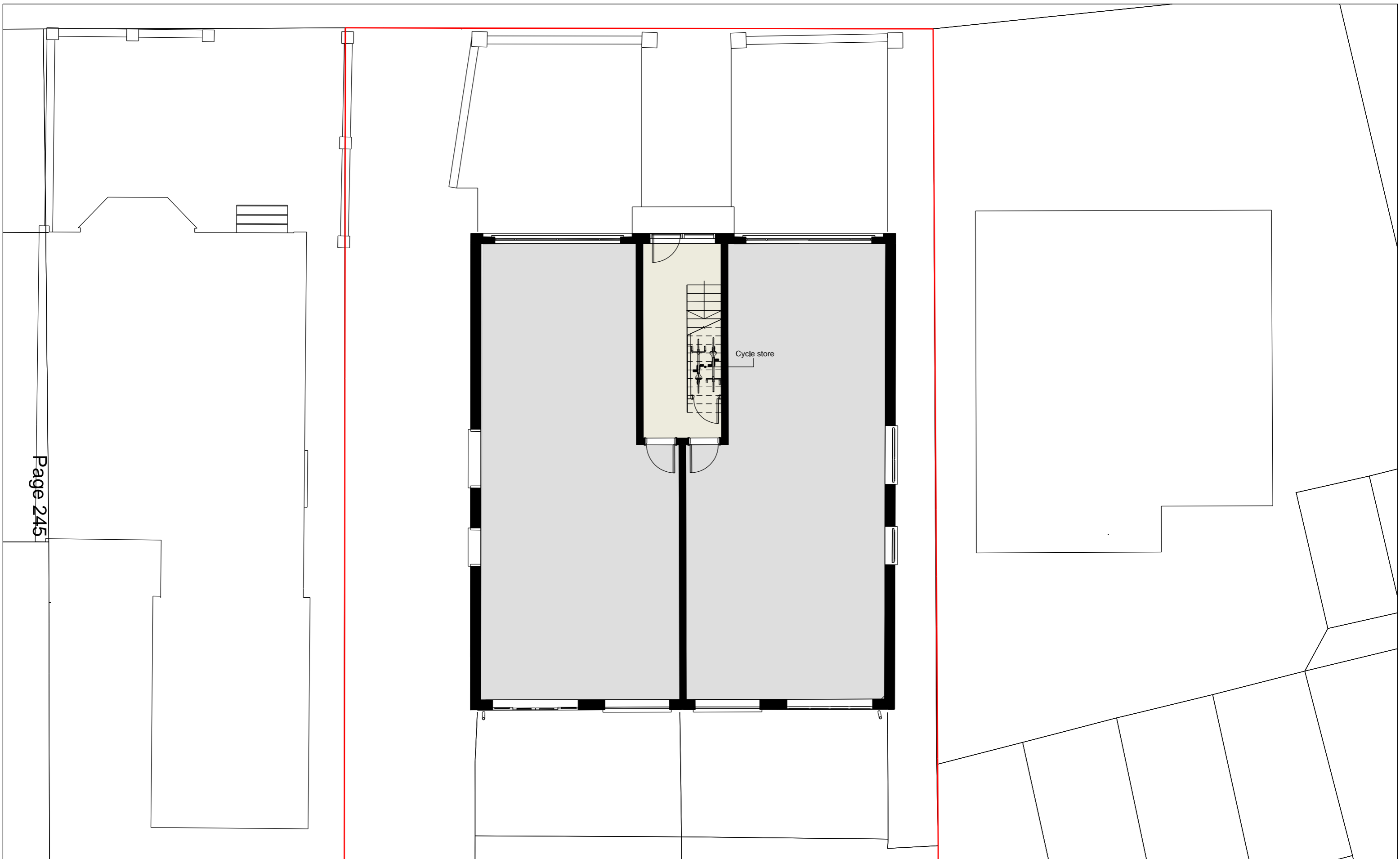
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Drawing		Drawing No.		Rev	
PROPOSED SITE PLAN		1000			
Status	Date	Scale at A3	Drawn by		
PLANNING	21.12.20	1:500	PJ		

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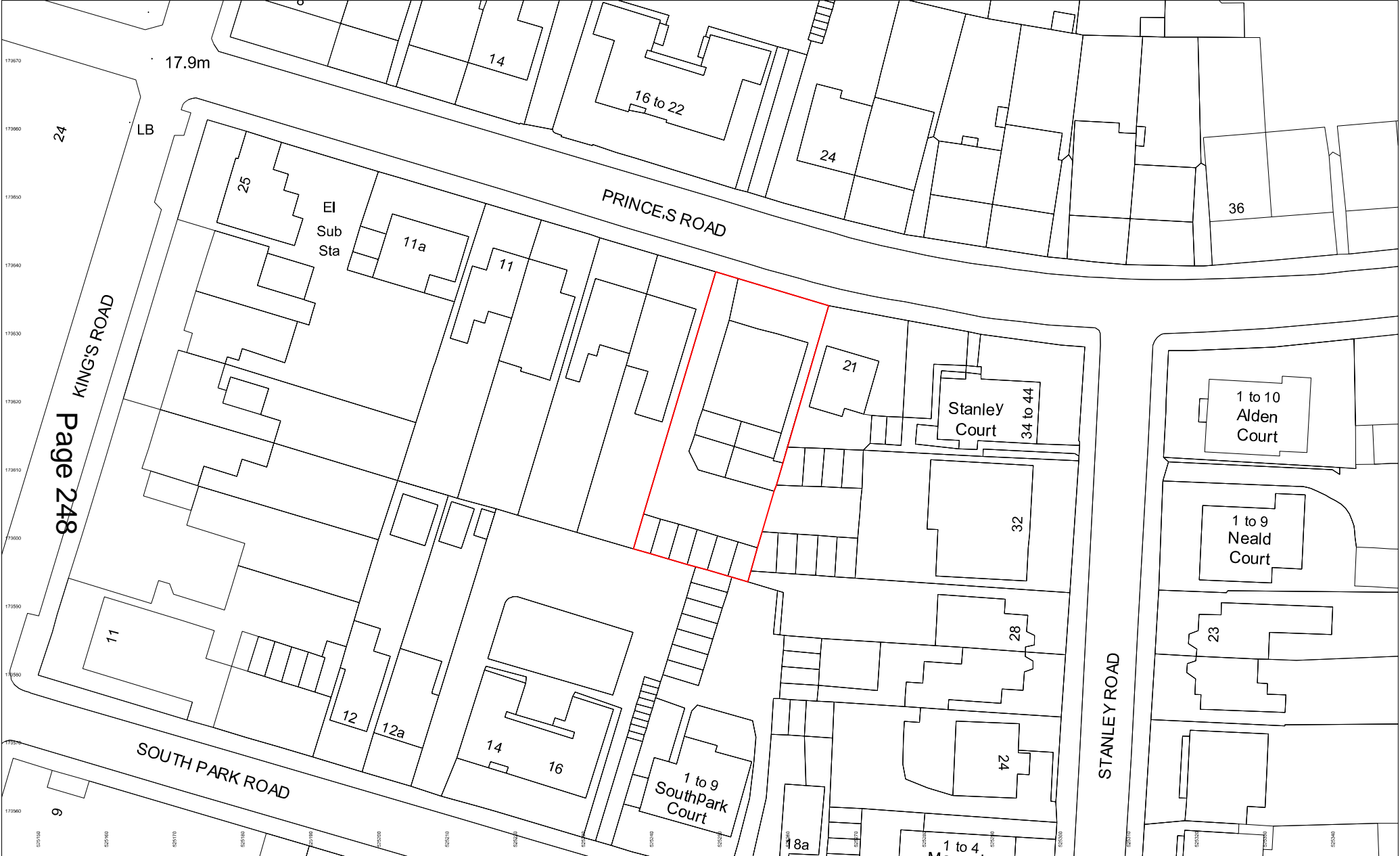
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Status	PLANNING	Date	14.04.21	Scale at A3	1:100
		Drawn by	PJ		

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Drawings



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Rev	Date	Description
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Project
19 PRINCES ROAD

Client
VERA ROAD LIMITED

Project No.
0074

Drawing
SITE PLAN

Drawing No.
0000

Rev

Status
PLANNING

Date
21.12.20

Scale at A3
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Rev	Date	Description
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Drawing	Drawing No.	Rev
EXISTING NORTH ELEVATION	3000	
Status	Date	Scale at A3
PLANNING	21.12.20	1:100
		Drawn by
		PJ

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Rev	Date	Description
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Drawing PROPOSED NORTH ELEVATION		Drawing No. 3100	Rev
Status PLANNING	Date 21.12.20	Scale at A3 1:100	Drawn by PJ

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Rev	Date	Description

Project	19 PRINCES ROAD
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Client	VERA ROAD LIMITED
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Project No.	0074
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Drawing	EXISTING SOUTH ELEVATION
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Rev	Date	Description

Project	19 PRINCES ROAD
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Client	VERA ROAD LIMITED
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Project No.	0074
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Drawing	PROPOSED SOUTH ELEVATION
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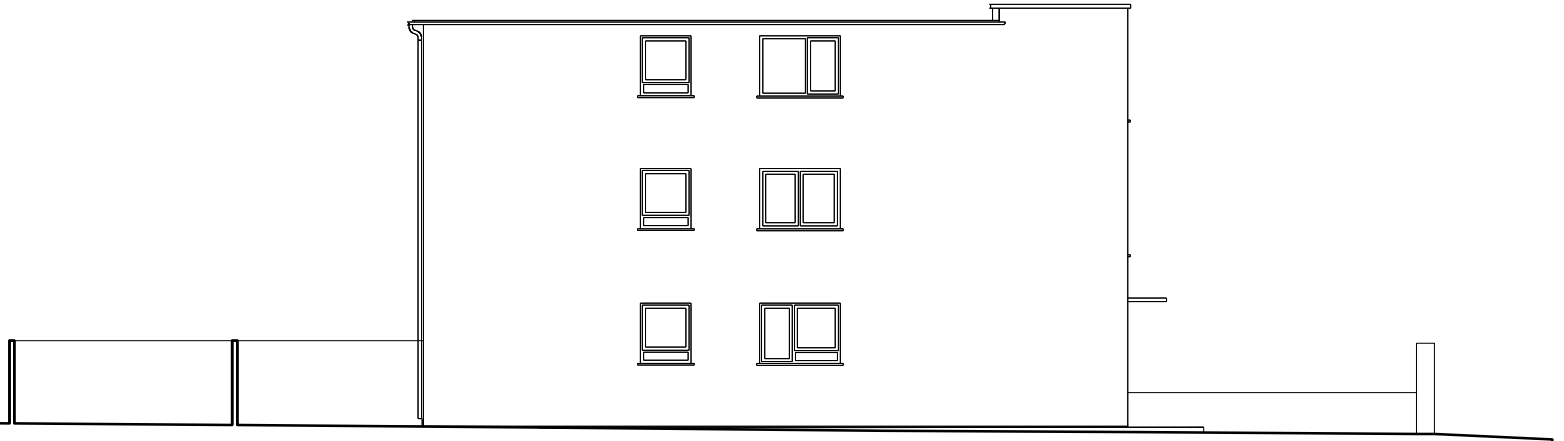
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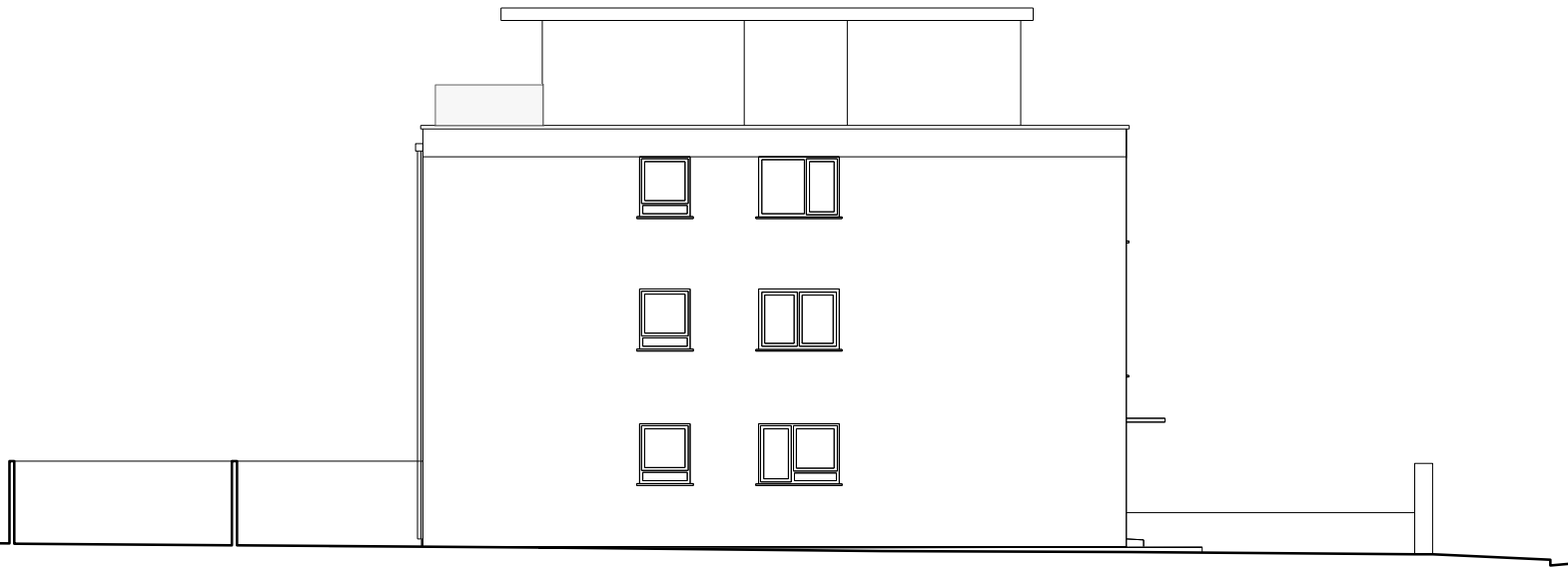
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Rev	Date	Description
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Drawing	Drawing No.	Rev
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Status	Date	Scale at A3
PLANNING	21.12.20	1:100
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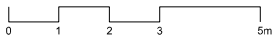
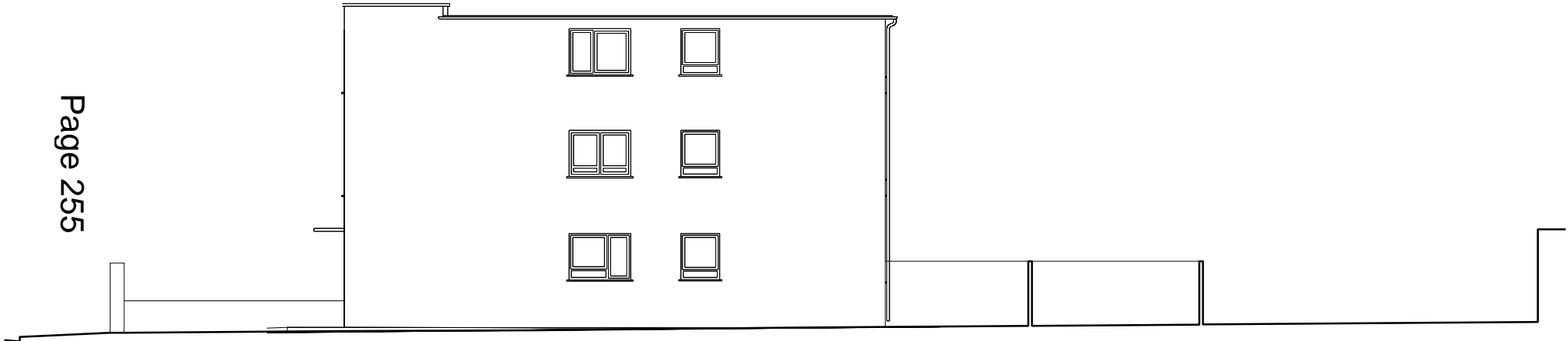
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Rev	Date	Description
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Project	Client	Project No.	
19 PRINCES ROAD	VERA ROAD LIMITED	0074	
Drawing	Drawing No.	Rev	
PROPOSED EAST ELEVATION	3102		
Status	Date	Scale at A3	Drawn by
PLANNING	21.12.20	1:100	PJ

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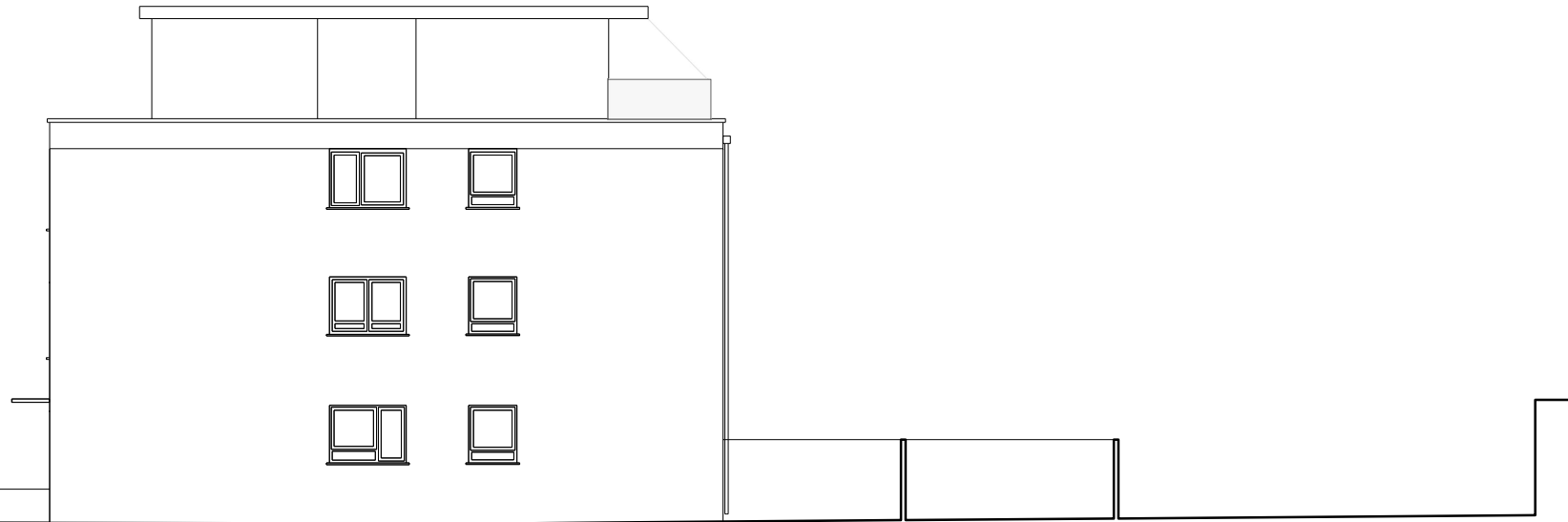
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Rev	Date	Description

Project	Client	Project No.
19 PRINCES ROAD	VERA ROAD LIMITED	0074
Drawing	Drawing No.	Rev
EXISTING WEST ELEVATION	3003	
Status	Date	Scale at A3
PLANNING	21.12.20	1:100
		Drawn by
		PJ

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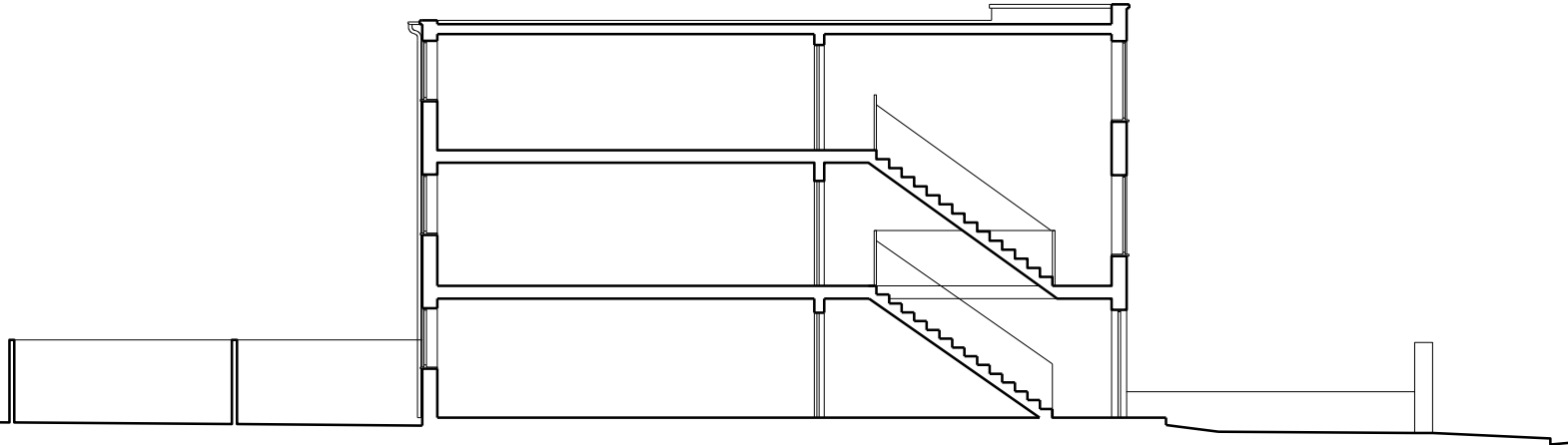
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Rev	Date	Description
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Project		Client	Project No.
19 PRINCES ROAD		VERA ROAD LIMITED	0074
Drawing		Drawing No.	Rev
PROPOSED WEST ELEVATION		3103	
Status	Date	Scale at A3	Drawn by
PLANNING	21.12.20	1:100	PJ

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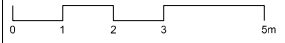
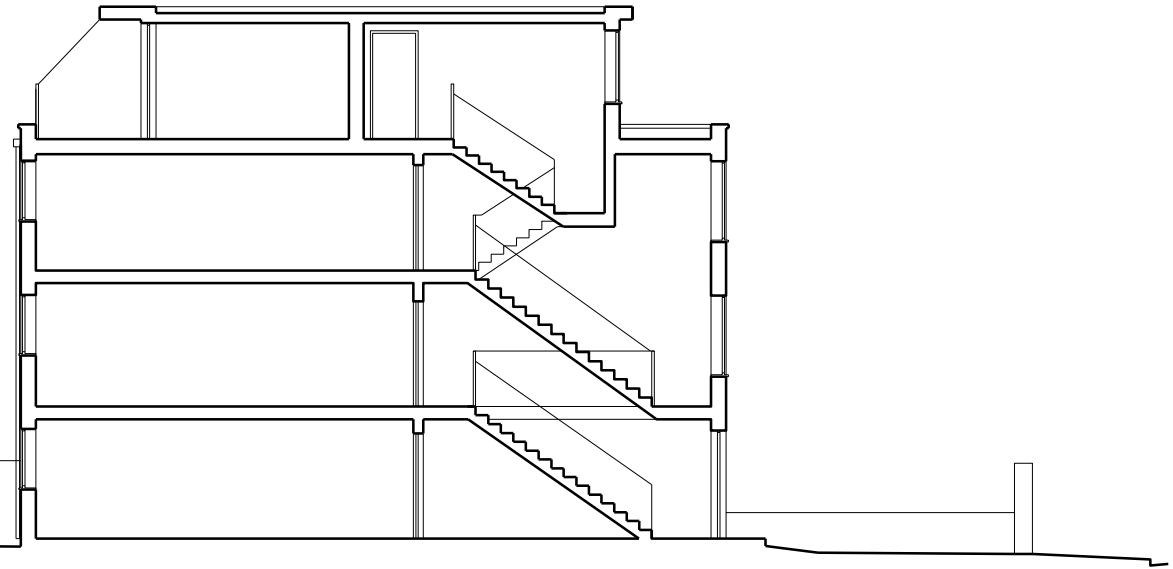
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Rev	Date	Description
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Project	Client	Project No.
19 PRINCES ROAD	VERA ROAD LIMITED	0074
Drawing	Drawing No.	Rev
EXISTING SECTION A-A	2000	
Status	Date	Scale at A3
PLANNING	21.12.20	1:100
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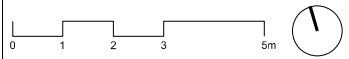
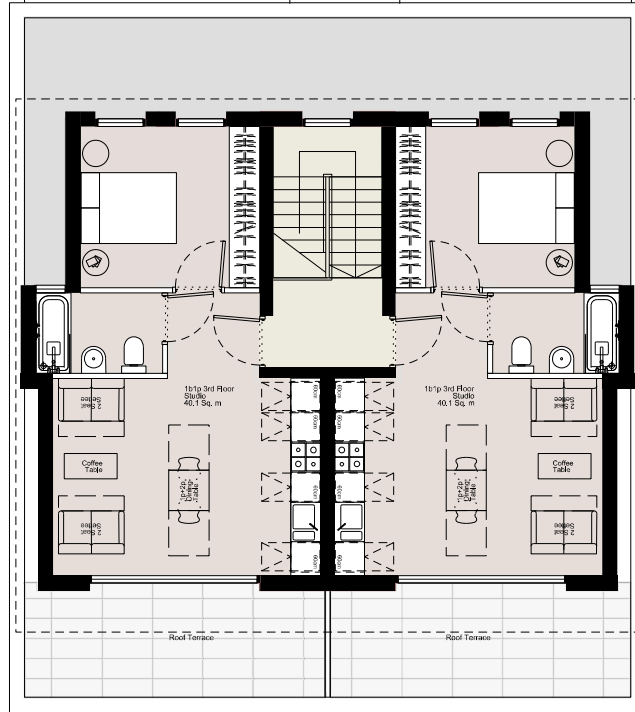
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Rev	Date	Description

Project	Client	Project No.
19 PRINCES ROAD	VERA ROAD LIMITED	0074
Drawing	Drawing No.	Rev
PROPOSED SECTION A-A	2100	
Status	Date	Scale at A3
PLANNING	21.12.20	1:100
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Rev	Date	Description

Project
 19 PRINCES ROAD

Client
 VERA ROAD LIMITED

Project No.
 0074

Drawing
 PROPOSED THIRD FLOOR PLAN

Drawing No.
 1100

Rev

Status
 PLANNING

Date
 21.12.20

Scale at A3
 1:100

Drawn by
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PLANNING APPLICATIONS COMMITTEE

29 April 2021

<u>APPLICATION NO.</u>	<u>DATE VALID</u>	<u>Item no:</u>
21/P0008	11/12/2020	
Address/Site	18D Ridgway, Wimbledon, London, SW19 4QN	
Ward	Village	
Proposal:	CONVERSION OF EXISTING CLASS E OFFICE INTO A SINGLE DWELLING HOUSE C3	
Drawing Nos	2220-04 Revision B, 21220-06 Revision B, 2220-05 Revision B, 2220-01	
Contact Officer:	Charlotte Gilhooly (020 8545 4028)	

RECOMMENDATION

GRANT Planning Permission subject to conditions

CHECKLIST INFORMATION.

- Conservation Area- Yes
- Area at risk of flooding - No
- Local Development Plan site proposal designation - None
- Controlled Parking Zone - Yes
- Trees - No
- Listed Building - No
- Is a Screening Opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: Yes
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 48

1. **INTRODUCTION**

This application has been brought to the Planning Applications Committee for determination due to the nature and number of objections received.

2. **SITE AND SURROUNDINGS**

The application site comprises a single storey existing office unit (Class E) which is detached and located at the rear of 18 Ridgway via a gated shared access area which is primarily commercial. The existing building is used as a mixed medical/office unit (physiotherapy). The site is not listed or located with a designated neighbourhood parade but is located within a Conservation Area and Archaeological Priority Area Tier 2.

The site is in a PTAL area of 6a, which is considered to have good accessibility.

There is one off street parking space for a neighbouring property adjoining the site.

There are no further constraints on the site.

3. **CURRENT PROPOSAL**

This application seeks planning permission for the proposed change of use from an office (Class E) to residential (Class C3) to create a 1 bedroom residential unit. The proposal would be: 5.06m deep on the east side, 5.67m deep on the west side, 15.48m wide and 3.64m high. Entry to the flat would be via Ridgway through a shared automatic gate. No external changes to the existing building are proposed apart from an allocated parking space and outdoor amenity space. As such no new materials are proposed.

Plans have been amended during the application process to indicate internal storage. A CIL form has also been submitted.

The schedule of accommodation would be as follows:

	Dwelling type	GIA	Private external amenity space	Car Parking	Cycle parking
Flat 1	1b/2p	58.12sqm	Yes	1	Yes

4. **PLANNING HISTORY**

The site originally formed part of 2 Homefield Road. The following planning history therefore relates to this site address:

- MER501/79: TWO GARAGES AT REAR. GRANT PERMISSION (SUBJECT TO CONDITIONS) 10-08-1979.
- 02/P0911: DEMOLITION OF EXISTING GARAGES AND ERECTION OF A SINGLE STOREY OFFICE BUILDING WITH ASSOCIATED CAR PARKING. GRANT PERMISSION SUBJECT TO CONDITIONS 26-07-2002.

- 05/P0643: APPLICATION FOR A CERTIFICATE OF LAWFULNESS FOR PROPOSED USE OF EXTENDED GARAGE AT REAR OF PROPERTY AS AN ATELIER WITH REAR WHEELCHAIR ACCESS. REFUSE CERTIFICATE OF LAWFULNESS 13-06-2005
- 06/P0500: CHANGE OF USE OF EXISTING GARAGE AND SINGLE STOREY EXTENSION THERETO TO FORM WHEELCHAIR ACCESSIBLE OFFICE/STUDIO UNIT AT REAR OF PROPERTY. GRANT PERMISSION SUBJECT TO CONDITIONS 27-04-2006.
- 08/P2979: AMENDMENT TO PREVIOUS LBM PLANNING PERMISSION 06/P0500 (DATED 27/04/2006) TO INCORPORATE AN ADDITIONAL 24M2 OF OFFICE SPACE IN A SINGLE-STOREY BUILDING. GRANT PERMISSION SUBJECT TO CONDITIONS 31-12-2008.
- 09/P2541: CHANGE OF USE FROM OFFICE TO MIXED MEDICAL & OFFICE, FACILITATING EXPANSION OF EXISTING PHYSIOTHERAPY PRACTICE AT 18A RIDGWAY. GRANT PERMISSION SUBJECT TO CONDITIONS 05-01-2010.
- 10/P0254: APPLICATION FOR APPROVAL OF DETAILS RESERVED BY CONDITION 2 ATTACHED TO LBM PLANNING APPLICATION 09/P2541 RELATING TO THE CHANGE OF USE FROM OFFICE TO MIXED MEDICAL & OFFICE, FACILITATING EXPANSION OF EXISTING PHYSIOTHERAPY PRACTICE AT 18A RIDGWAY. GRANT DISCHARGE OF CONDITIONS 25-03-2010
- 20/P2836: ERECTION OF A FIRST FLOOR EXTENSION AND CONVERSION OF EXISTING D1 OFFICE INTO A SINGLE DWELLINGHOUSE C3. REFUSE PERMISSION.

5. CONSULTATION

Consultation letters were sent to neighbouring properties – 5 objections have been received which is summarised below:

5.1 EXTERNAL

- I live at 25C Lingfield Road and works are currently underway at all three properties 18A, 18C and 18D. This appears to be very disrespectful of the planning process. I am unclear whether the works being carried out constitute permitted development.
- Despite adjoining this neighbouring property I was not consulted on this planning application.
- Light and noise pollution at night in what was a quiet part of the conservation area of Wimbledon
- No light assessment has been provided by the developer.
- The proposal will result in a loss of valuable office space in an area where office space is at a premium.
- The proposal will result in a loss of a health amenity provided by the current occupier.
- Creation of a single bedroom housing which is of no merit since it won't be for affordable housing.

- The proposed accommodation is very small and has poor configuration.
- I note that despite my property being adjacent to the unit I was not on the list of neighbours being notified of the consultation. I lodged a formal complaint in respect of 20/P1836. This which was partly upheld at Stage by Neil Milligan.
- Trees will be affected by the proposal on either side of the site. I would like assurances the trees will not be affected by the proposal.
- No site notice has been displayed. As such I would like the consultation period to therefore be extended and commence from the day the site notice will be put up.
- I am concerned there is insufficient information in which to validate this application.
- There is no Daylight/Sunlight Assessment, no cycle storage facilities, no storage facilities, No Community Infrastructure Levy submitted.
- The proposal which involves the loss of office space is not compliant with CS12, DM E2 and DM E3
- While the proposal is in a residential area, it is primarily a small employment enclave. It should be noted office space has already been lost on this site – 18C. The site has been occupied until recently as an office unit.
- The quality of the proposed accommodation is sub standard.
- It is not clear in the proposal if there is adequate internal storage.
- The site is already very limited for the number of properties on site.
- There is car parking in Homefield Road via a shared access path which will cause a noise nuisance in the side elevations of the proposed dwelling. This may also cause privacy issues.
- The site is dangerous as so many cars and vehicles are coming and going, especially for pedestrians.
- If this application is approved or is recommended for approval at Committee, we would like to recommend a green roof to help reduce its visual impact.
- The proposal will have a detrimental impact on light entering our property (3 Homefield Road)
- The current windows open unlawfully onto our land. There is no right to light enjoyed by that window. To protect our land we will be serving a Light Obstruction Notice.
- If permission is granted the window in the side elevation will look directly onto our parking space. (3 Homefield Road).
- The applicant has not considered the loss of this valuable community space which is a valued resource by the local community.
- No attempt has been made to market the property and the current tenant would appear to want to continue leasing the building for physiotherapy.
- The applicant has three recently refused applications on this site and appears to be attempting to develop this backland site in a piecemeal way.
- We were not consulted despite our property backing onto the site (3 Homefield Road).
- The proposal is not compliant with Policy DM C1 of Merton's Sites and Policies Plan.
- The proposed unit would have a very poor outlook and the occupiers would not have privacy.

- The Fire Brigade would not be able to access the site due to the width of the carriageway. The minimum width is 3.7m and the access road is 3.1m wide. The building is also not within 45m of a water pump.
- 20/P2836, 20/P2696 and 20/P3175 have already been recently refused on this backland site. It appears the applicant is trying to achieve sub standard residential development on a piecemeal basis.

5.1 Planning Officer's response

- 24 and 25D Lingfield Road and 3 Homefield Road have subsequently been consulted on this application due to an error at the validation stage.
- According to the Council's internal planning database, a site notice was displayed and a press notice was published in the Guradian.
- Plans have subsequently been amended to indicate internal storage.

5.2 INTERNAL

Conservation Officer

No objection.

Transport and Highways

The Property is to retain the existing building and convert it into a 1 bedroom unit, from Class D1 to C3.

The unit is to have its own parking space adjacent to the building, within the gated mews.

The development will need one cycle space (secure & undercover) to satisfy the London Plan standards.

Recommendation: Raise no objection subject to:

Car and cycle parking maintained.

6. **POLICY CONTEXT**

6.1 National Planning Policy Framework (2019)

- Section 4: Promoting sustainable transport.
- Section 6: Delivering a wide choice of high quality homes.
- Section 7: Requiring good design including optimising the potential of a site to accommodate development.
- Section 15: Conserving and enhancing the Historic Environment

6.2 London Plan (2021)

- Policy D3 Optimising site capacity through the design-led approach
- Policy D4: Delivering good design
- Policy D7 Accessible housing

- Policy DF1 Delivery of the Plan and Planning Obligations
- Policy D6 Housing quality and standards
- Policy DF1 Delivery of the Plan and Planning Obligations
- Policy GG3 Creating a healthy city
- Policy GG6 Increasing efficiency and resilience
- Policy H1 Increasing housing supply
- Policy H10 Housing size mix
- Policy HC1: Heritage Conservation and Growth
- Policy S1 Developing London's social infrastructure
- Policy SI 5 Water infrastructure
- Policy SI 2 Minimising greenhouse gas emissions
- Policy SD6 Town centres and high streets
- Policy T5 Cycling
- Policy T6 Car parking

6.3 Merton Local Development Framework Core Strategy (2011)

- CS 7 Centres
- CS 8 Housing choice
- CS 9 Housing provision
- CS 11 Infrastructure
- CS 12 Economic Development
- CS 13 Open space and leisure
- CS 14 Design
- CS 15 Climate Change
- CS 17 Waste Management
- CS 18 Transport
- CS 20 Parking servicing and delivery

6.4 Merton Sites and Policies Plan (2014)

Relevant policies include:

- DM H3 Support for affordable housing
- DM D1 Urban Design
- DM D2 Design considerations
- DM D3 Alterations and extensions to existing buildings
- DM D4 Managing Heritage Assets
- DM EP 2 Reducing and mitigating noise
- DM H2 Housing Mix
- DM R1 Location and scale of development in Merton's town centres and neighbourhood parades
- DM T3 Car parking and servicing standards

6.5 Supplementary planning considerations

- London Plan Housing SPG 2016
- DCLG Technical Housing Standards - nationally described space standards 2015

7. PLANNING CONSIDERATIONS

The key planning considerations of the proposal are as follows:

- Loss of E1 use
- Design and impact upon the character and appearance of the Conservation Area
- Impact upon neighbouring amenity
- Standard of accommodation
- Transport, parking and cycle storage
- Refuse
- Sustainability
- Developer contributions

The material considerations relating to this application are the principle of the change of use, the quality of accommodation, the developments impact upon the character and appearance of the host building, the Conservation Area, the neighbourhood parade, neighbouring amenity and transport and highway impacts.

7.1 Loss of E Use

Planning Policy DM C1 of Merton's Sites and Policies Plan states that any redevelopment proposals resulting in a net loss of existing community facilities will need to demonstrate that the loss would not create, or add to a shortfall in provision for the specific community uses. In Merton's Site's and Policies Plan (2014) it states:

Applications proposing a loss of a community facility will have to show that full and proper marketing has been undertaken to demonstrate that community uses (E Use Class) are no longer viable on the site. Applicants will have to demonstrate that:

- *the site has been marketed for 30 months unless otherwise agreed with the council;*
- *all opportunities to re-let the site have been fully explored;*
- *the site has been marketed using new (on the internet) and traditional marketing tools available; and*
- *the site has been marketed at a price which is considered reasonable (based on recent and similar deals or transactions).*

Health 3.8.

Redevelopment or change of use of sites used for health facilities should not result in inadequate provision or poor accessibility to healthcare for residents. Locations for new health developments should be in accessible locations that are well served by public transport, commensurate with the numbers of trips the facility is expected to generate and the need to locate facilities throughout the borough.

It appears from planning history, the site has previously been used as a Physiotherapist/sport injury studio/office. As such the application would result in a loss of approximately 58 sqm of E use floor space. As part of this application, the applicant has not demonstrated the site has been marketed for 30 months and opportunities to re let the site have been fully explored. However, the site does not front the main road with the other commercial units and there is a recent permission in place for the other buildings in the vicinity of the site for residential use. The existing building is small in scale and on balance, officers do not consider that the proposed loss of the existing use could be resisted.

7.2 **Character and design**

London Plan Policies D3, D4 and HC1, Core Strategy Policy CS14 and SPP Policies DM D2 and DM D3 specify requirement for well-designed proposals that will respect the appearance, scale, bulk, form, proportions, materials and character of the original building, its context and the surrounding Conservation Area.

There will be no changes to the existing building externally, other than the provision for amenity space and car parking. As such the proposal is not considered to impact on the character of the site and surrounding Conservation Area. In addition neighbouring trees will not be affected. This element of the proposal is therefore considered acceptable.

7.3 **Neighbouring Amenity**

London Plan Policy D4 and SPP policy DM D2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion and noise.

The properties which have the potential to be affected by this proposal include: 1, 2 and 3 Homefield Road, Flats 1-3 at 10 Ridgway and 12, 12a Ridgway.

There are no changes proposed to the external appearance of the property other than the allocated amenity space and car parking space proposed. As such the proposal is not considered to result in overlooking or cause a loss or privacy for these neighbouring properties.

It is possible that the allocated amenity space could result in some additional noise for neighbouring properties 10 and 12 Ridgway but given the proposal is for a one bedroom unit, the potential for additional noise is considered minimal.

It is noted there is some concern from the representations received over the issue over the existing window in the side elevation overhanging a car parking space which adjoins the site. As this is the situation with the existing office unit and does not impact a neighbouring habitable space or impact on privacy or cause overlooking, this element of the proposal while not ideal, is on balance considered acceptable.

7.4 Standard of accommodation: internal and external spaces

INTERNAL

Policy D6 of the London Plan 2021 requires housing development to be of the highest quality internally and externally and should satisfy the minimum internal space standards (specified as Gross Internal Areas –GIA) as set out in Table 3.1 of the London Plan.

Table 3.1 provides comprehensive detail of minimum space standards for new development; which the proposal would be expected to comply with. Policy DMD2 of the Adopted Sites and Policies Plan (2014) also states that developments should provide suitable levels of sunlight and daylight and quality of living conditions for future occupants.

Flat No.	No.of beds	No. of persons	No. of storey's	Required GIA (sqm)	Proposed GIA (sqm)	Compliant
1	1	2	1	50	58.12	Yes

As demonstrated by the table above the unit would meet the London Plan 2021 space standards for a two person dwelling. The 1 bedroom unit would have a minimal ceiling height of 2.5m and would be double aspect. The floor area and dimensions of the bedroom would also meet national space standards.

EXTERNAL

In accordance with the London Housing SPG and Policy DMD2 of the Council's Sites and Policies Plan, it states that there should be 5sqm of external space provided for private outdoor space for 1-2 person dwellings and an extra 1sqm provided for each additional occupant.

The 1 bedroom unit would provide outdoor amenity space with a total area of 11.58sqm and would have a minimal depth and width of 1.5m. This element of the proposal would therefore satisfy the minimum space standard requirements for amenity space as set out in the London Plan 2021.

7.5 Transport, parking and cycle storage

Core Strategy policy CS20 requires that development would not adversely affect pedestrian or cycle movements, safety, the convenience of local residents, on street parking or traffic management.

The location of the offices is within PTAL zone 6a where the area is well served by public transport. The car parking demand is therefore unlikely to be increased. One car parking space has been indicated which is considered sufficient. Bike and bin storage has not been indicated but it is anticipated there is sufficient space for this in the

proposed amenity space allocated as per London Plan standards. However as no elevations have been provided, it is therefore recommended to condition this element of the proposal to ensure bin and bike storage is secure and undercover and compliant with London Plan 2021.

7.6 **Sustainability**

All new developments comprising the creation of new dwellings should demonstrate how the development will comply with Merton's Core Planning Strategy (2011) Policy CS15 Climate Change (parts a-d) and the policies outlined in Chapter 9 of the London Plan (2021).

As a minor development proposal, the development has not produced an Energy Statement. As such the following conditions are recommended below to outline how it will achieve a 19% improvement on Buildings Regulations 2013 Part L and submit SAP output documentation to demonstrate this improvement.

7.7 **Developer Contributions**

The proposed development would be subject to payment of the Merton Community Infrastructure Levy and the Mayor of London's Community Infrastructure Levy (CIL).

8. **CONCLUSION**

The scale, form, design, positioning and materials of the proposals are not considered to have an undue detrimental impact on the host building, the character of the site, the Conservation area or on neighbouring amenity. On balance, the quality of housing is considered acceptable. Therefore, the proposal is considered to comply with the principles of policies DMD2, DMD3 and DM D4 of the Adopted SPP 2014, CS 14 of the LBM Core Strategy 2011 and D3, D4, D6 and HC1 of the London Plan 2021.

RECOMMENDATION

Grant permission subject to the conditions below:

1. A1 Commencement of Development: The development to which this permission relates shall be commenced not later than the expiration of 3 years from the date of this permission.

Reason: To comply with Section 91 (as amended) of the Town & Country Planning Act 1990.

2. A7 Approved Plans: The development hereby permitted shall be carried out in accordance with the following approved plans: [2220-04 Revision B, 21220-06 Revision B, 2220-05 Revision B, 2220-01]

Reason: In the interests of proper planning

3. B3 External materials as specified: The facing materials to be used for the development hereby permitted shall be those specified in the application form unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance of the development and to comply with the following Development Plan policies for Merton: policy D3, D4 and HC1 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

4. CO6 Refuse: No development shall take place until a scheme for the storage of refuse and recycling has been submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the scheme has been approved, and the development shall not be occupied until the scheme has been approved and has been carried out in full. Those facilities and measures shall thereafter be retained for use at all times from the date of first occupation.

Reason: To ensure the provision of satisfactory facilities for the storage of refuse and recycling material and to comply with the following Development Plan policies for Merton: policy CS17 of Merton's Core Planning Strategy 2011 and policy DM D2 of Merton's Sites and Policies Plan 2014.

5. CO8 No access to flat roof: Access to the flat roof of the development hereby permitted shall be for maintenance or emergency purposes only, and the flat roof shall not be used as a roof garden, terrace, patio or similar amenity area.

Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policy D3 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.

6. D11 Construction Times: No demolition or construction work or ancillary activities such as deliveries shall take place before 8am or after 6pm Mondays - Fridays inclusive, before 8am or after 1pm on Saturdays or at any time on Sundays or Bank Holidays.

Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with policy DM EP2 of Merton's Sites and Policies Plan 2014.

7. H06 Cycle parking: No development shall commence until details of secure cycle parking facilities for the occupants of, and visitors to, the development have been submitted to and approved in writing by the Local Planning Authority. The approved facilities shall be fully implemented and made available for use prior to the first occupation of the development and thereafter retained for use at all times.

Reason: To ensure satisfactory facilities for cycle parking are provided and to comply with the following Development Plan policies for Merton: policy D3 and Table 10.2 of the London Plan 2021, policy CS18 of Merton's Core Planning Strategy 2011 and policy DM T1 of Merton's Sites and Policies Plan 2014.

8. Non standard condition: No part of the development hereby approved shall be occupied until evidence has been submitted to, and approved in writing by, the Local Planning Authority confirming that the development has achieved CO2 reductions of not less than a 19% improvement on Part L regulations 2013, and internal water consumption rates of no greater than 105 litres per person per day.

Reason: To ensure that the development achieves a high standard of sustainability and makes efficient use of resources and to comply with the following Development Plan policies for Merton: Policy 5.2 of the London Plan 2015 and Policy CS15 of Merton's Core Planning Strategy 2011.

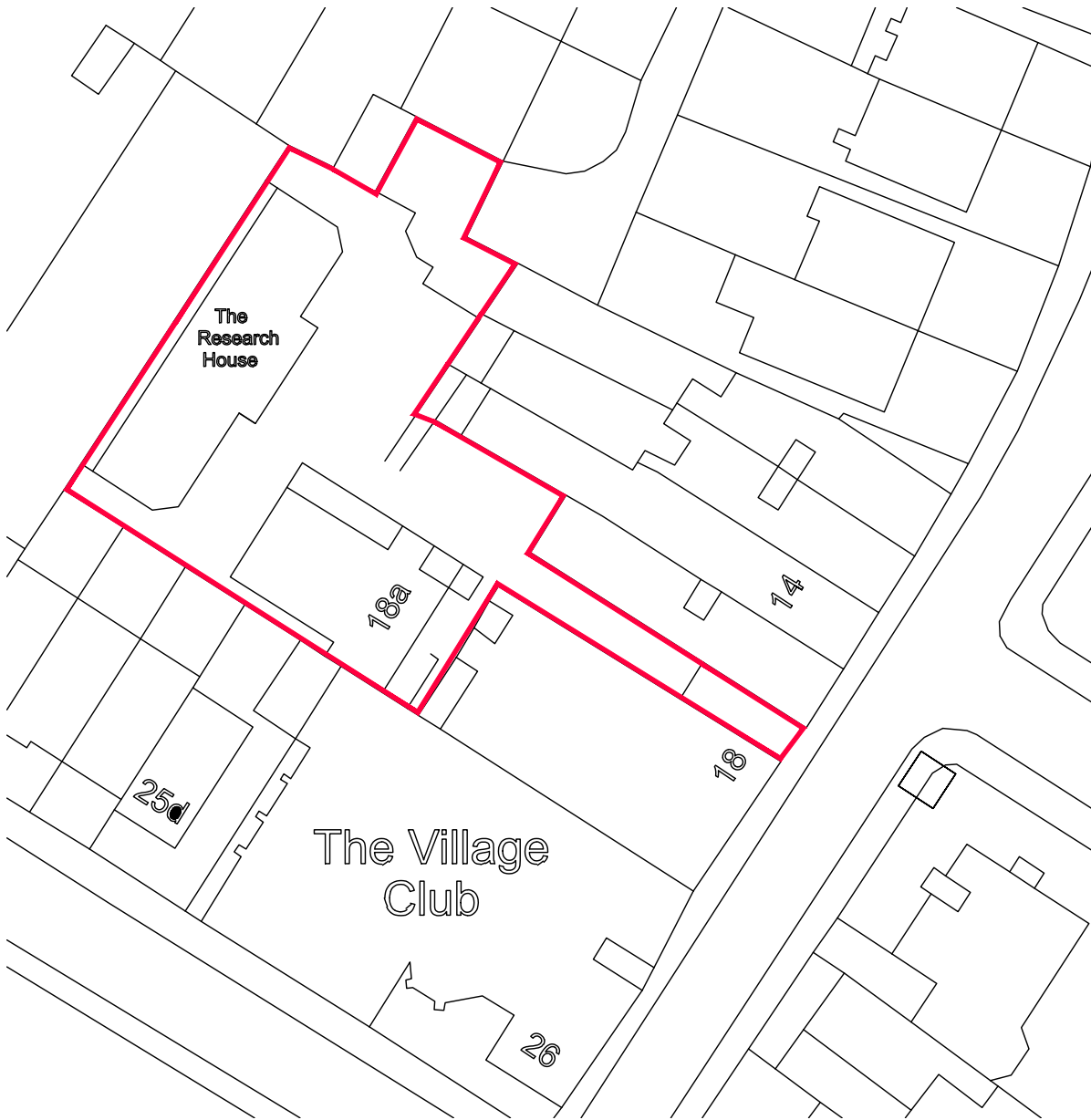
9. INFORMATIVE: Carbon emissions evidence requirements for Post Construction stage assessments must provide: Detailed documentary evidence confirming the Target Emission Rate (TER), Dwelling Emission Rate (DER) and compliance with the 19% improvement of DER over TER based on 'As Built' SAP 10 outputs (i.e. dated outputs with accredited energy assessor name; registration number, assessment status, plot number and development address); OR, where applicable: A copy of revised/final calculations as detailed in the assessment methodology based on 'As Built' SAP 10 outputs; ANID Confirmation of Fabric Energy Efficiency (FEE) performance where SAP 10 section 16 allowances (i.e. CO2 emissions associated with appliances and cooking, and site wide electricity generation technologies) have been included in the calculation.

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REVISIONS	DATE	DRN	CKD	REV
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ISSUE STATUS				
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Roger Kilby				
PROJECT				
18D RIDGEWAY, RIDGEWAY MEWS LONDON, SW19 4QN				
TITLE				
SITE LOCATION PLAN				
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Generally updated	24.03.21	DJC	B
Generally updated	08.12.20	DJC	A
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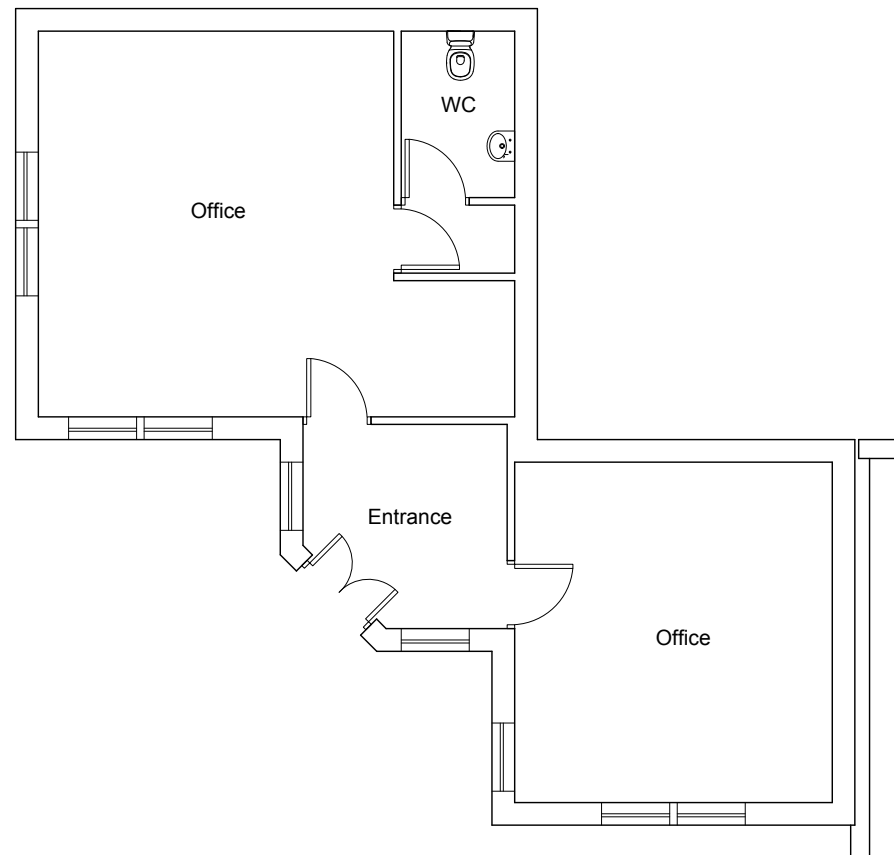
CLIENT
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 Fleetwood Developments

PROJECT
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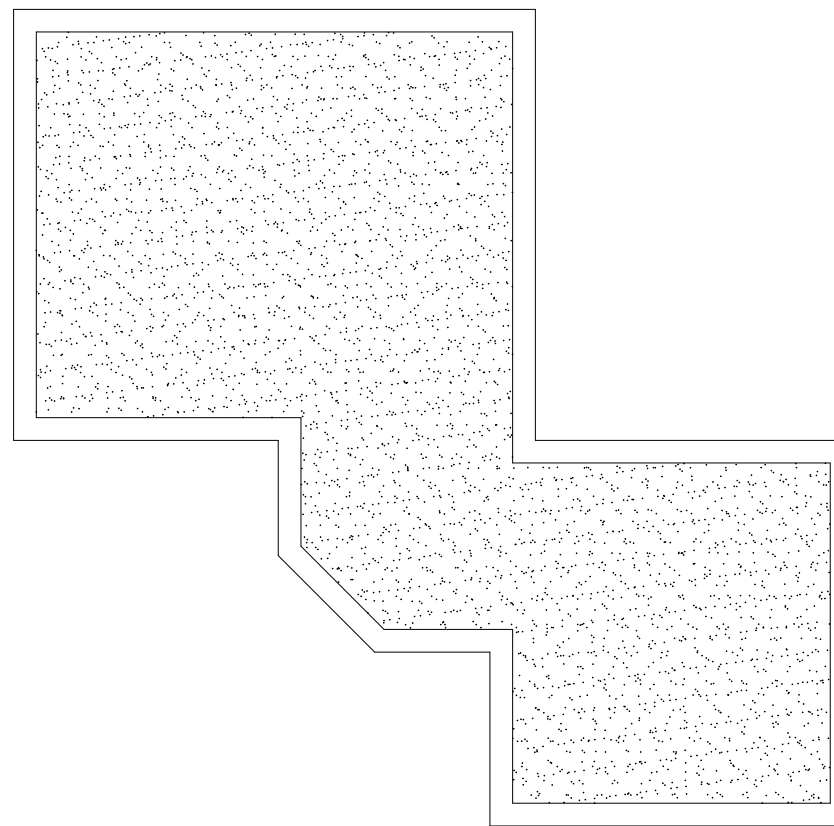
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EXISTING GROUND FLOOR PLAN



EXISTING ROOF PLAN

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PROJECT
 18D RIDGWAY MEWS
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TITLE
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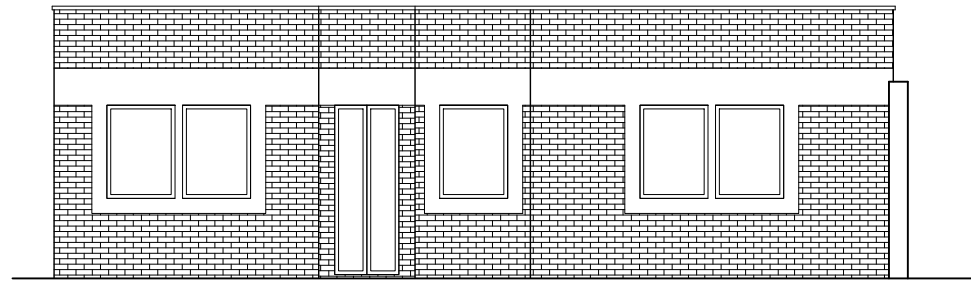
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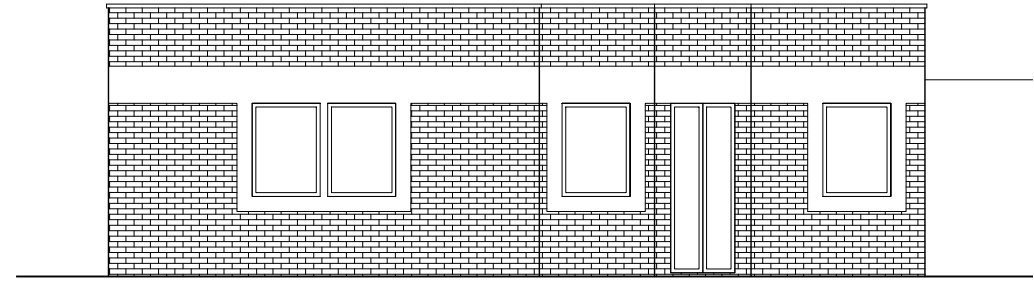
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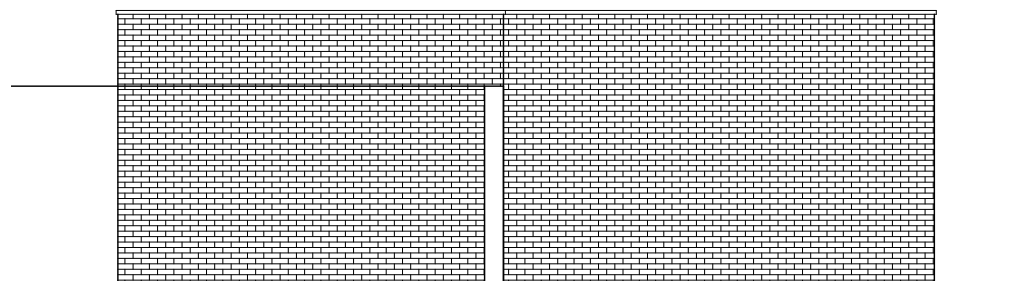
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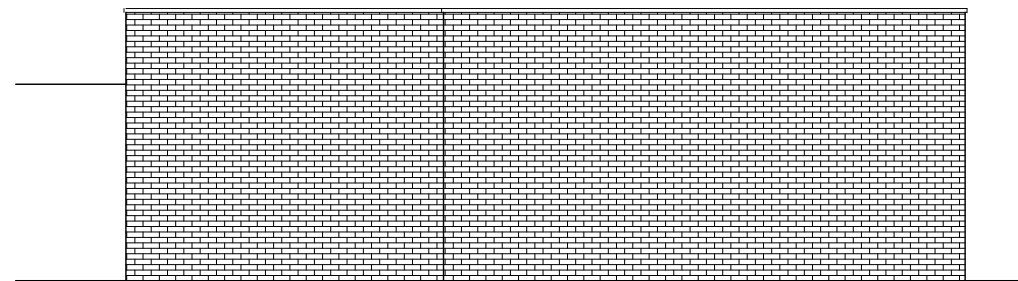
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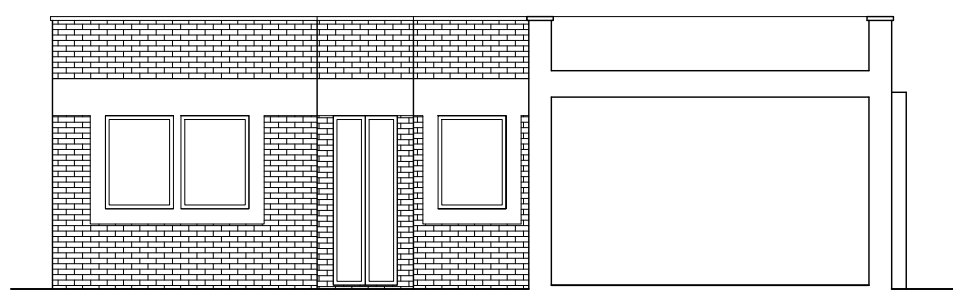
EXISTING SIDE ELEVATION



EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING SECTION A-A



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ISSUE STATUS: **PLANNING**

CLIENT: Roger Kilby
 Fleetwood Developments

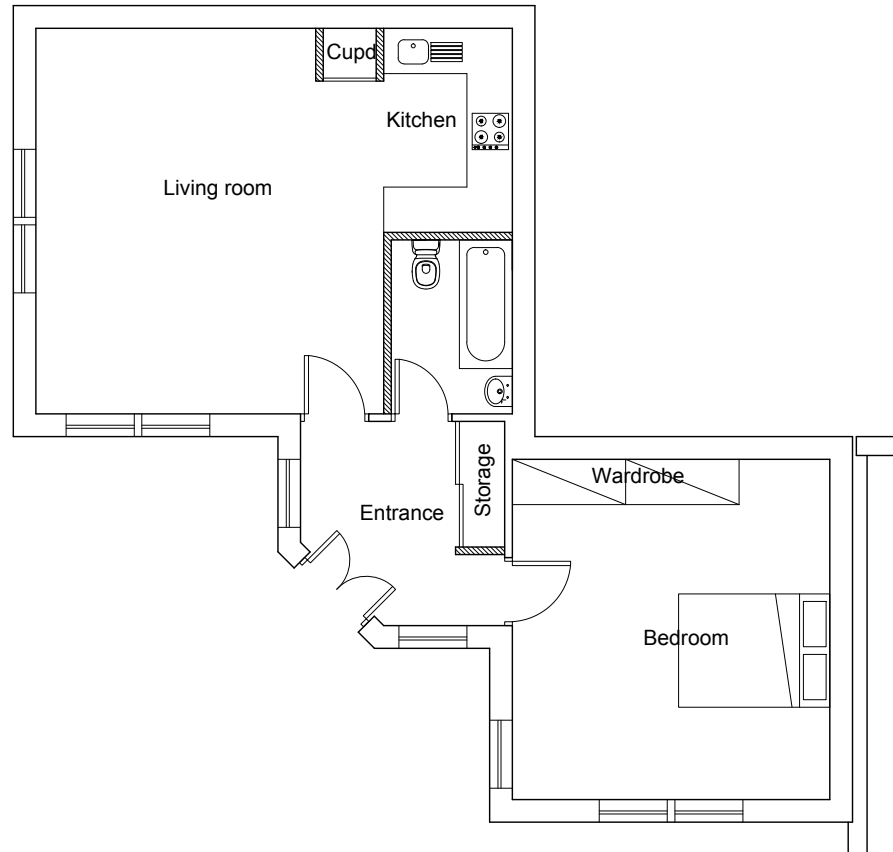
PROJECT: 18D RIDGWAY MEWS
 LONDON, SW19 4QN

TITLE: EXISTING ELEVATIONS & SECTION

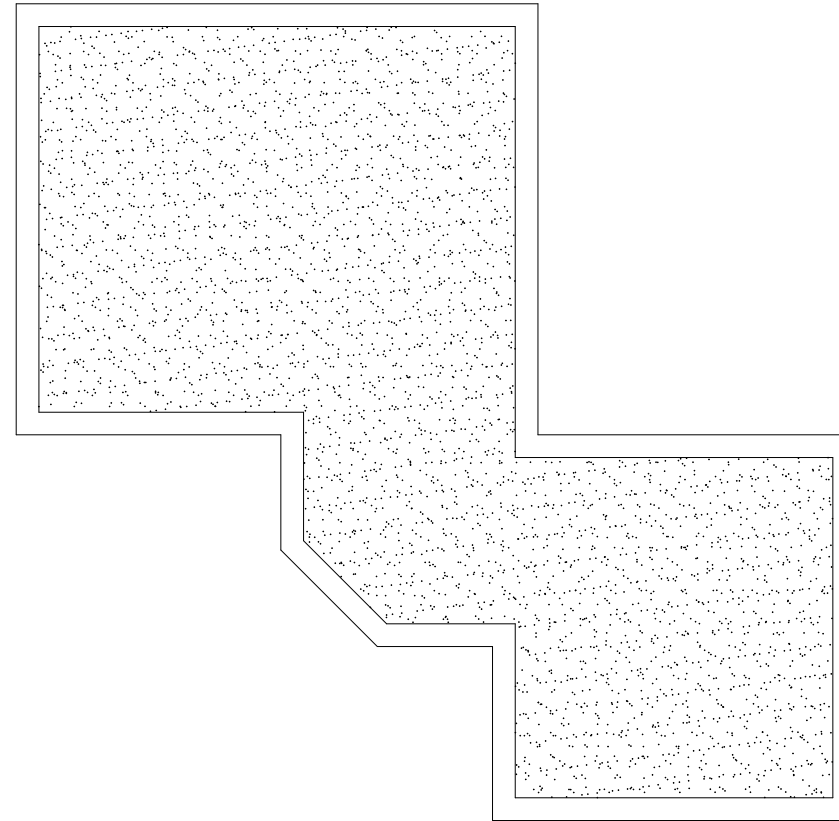
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PROPOSED GROUND FLOOR PLAN
(Internal floor area 58m²)



PROPOSED ROOF PLAN
(no changes)

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REVISIONS	DATE	DRN	CHK	REV
Generally updated	24.03.21	DJC	B	
Generally updated	03.12.20	DJC	A	

PLANNING

CLIENT
Roger Kilby
Fleetwood Developments

PROJECT
18D RIDGWAY MEWS
LONDON, SW19 4QN

TITLE
PROPOSED PLANS

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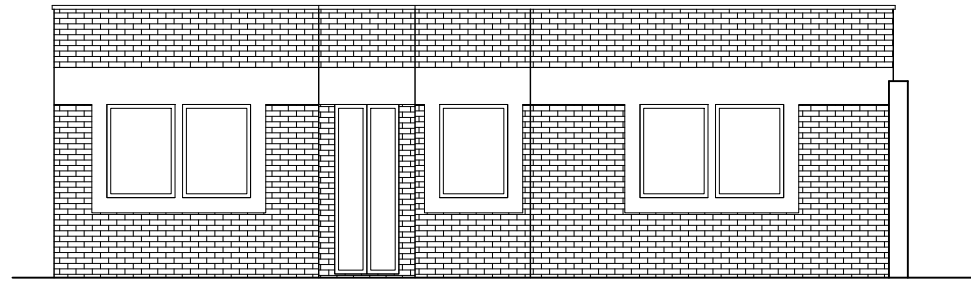
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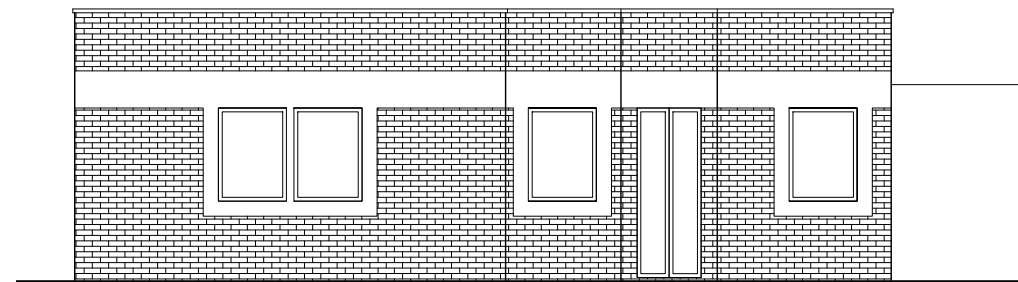
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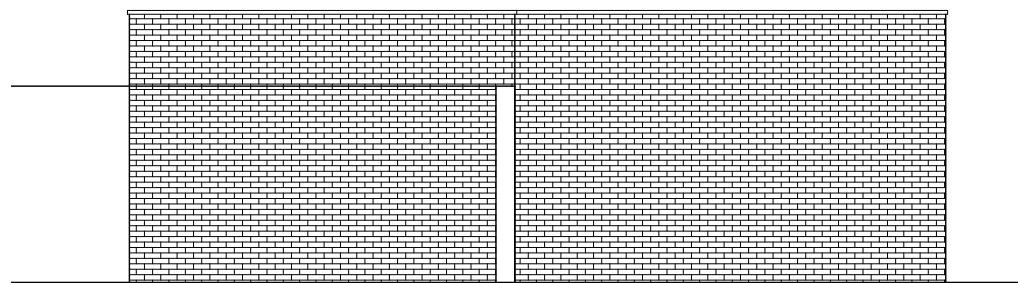


PROPOSED FRONT ELEVATION

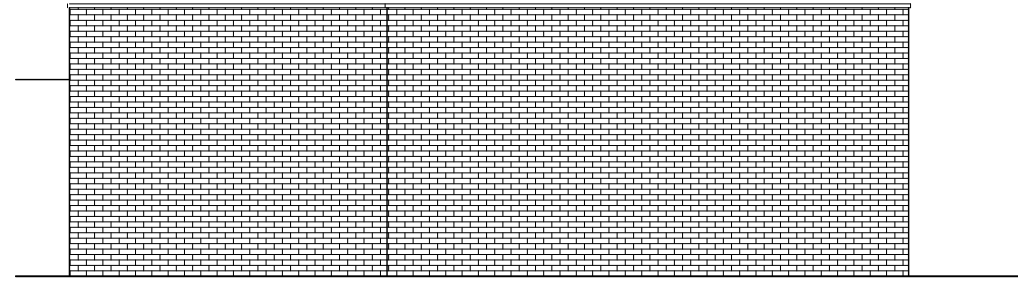


PROPOSED SIDE ELEVATION

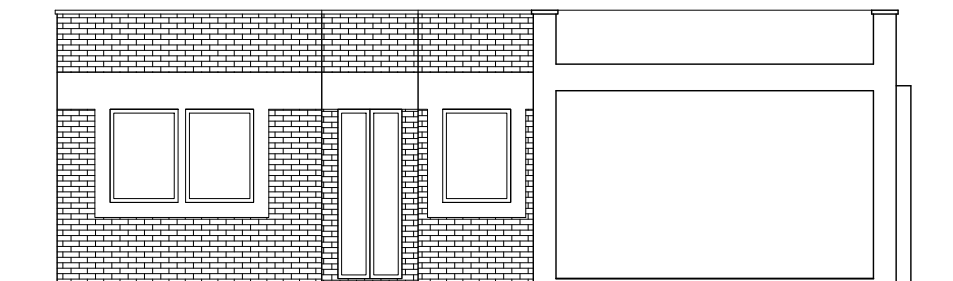
NO CHANGES TO EXISTING ELEVATIONS



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SECTION A-A



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Updated to planning comments	03.12.20	DJC		B
Updated to planning comments	04.11.20	DJC		A

ISSUE STATUS: **PLANNING**

CLIENT: Roger Kilby
Fleetwood Developments

PROJECT: 18D RIDGWAY MEWS
LONDON, SW19 4QN

TITLE: PROPOSED ELEVATIONS & SECTION

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DJC		1:100 @ A3	03.09.20

DRAWING No: **2220-05** | REV: **B**

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PLANNING APPLICATIONS COMMITTEE 29th April 2021

Item No:

<u>UPRN</u>	<u>APPLICATION NO.</u>	<u>DATE VALID</u>
	19/P1798	10/07/2019
Address/Site	51 Streatham Road, Mitcham, CR4 2AD	
(Ward)	Figges Marsh	
Proposal:	CHANGE OF USE FROM SINGLE DWELLINGHOUSE TO AN HMO TO PROVIDE 7 ROOMS, INCLUDING DEMOLITION OF EXISTING CONSERVATORY.	
Drawing Nos	GM26-016 Rev G, GM26-017 Rev F and GM26-018s Rev A	
Contact Officer:	Tim Lipscomb	

RECOMMENDATION

Grant Planning Permission subject to conditions.

CHECKLIST INFORMATION

- Heads of s.106 Agreement: No
- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: No
- Site notice: No
- Number of neighbours consulted: 10
- External consultations: Yes
- Conservation area: No
- Listed building: No
- Tree protection orders: No
- Controlled Parking Zone: No
- Flood Zone 1
- PTAL: 4

1. INTRODUCTION

- 1.1 This application is being brought to the Planning Applications Committee for determination due to the nature of the scheme and on the basis of a Councillor call-in (by Councillor Kirby).

2. **SITE AND SURROUNDINGS**

- 2.1 The site comprises a two-storey semi-detached dwellinghouse and garden to the south side of the junction of Streatham Road and Sandy Lane. The surrounding area is suburban in character.
- 2.2 The house is in use as a House in Multiple Occupation (HMO) with 11 occupants, albeit this use is not authorised. This application seeks to retain the building and use but with the layout as shown on the submitted plans, with 7 habitable rooms and 8 occupants.
- 2.3 HMOs are dwellings which are shared by three or more tenants who form two or more households and share a kitchen, bathroom or toilet. HMOs for between three and six people are classed as C4 whereas HMOs for more than six people are Sui Generis and do not fall into any class of uses specified under planning legislation.
- 2.4 The existing building has a gabled roof, with quoining details. There is a flat roof dormer window to the rear elevation.
- 2.5 There is a vehicular access to the site, off Sandy Lane, which provides access to a parking area. There is no vehicular access off Streatham Road. The site is not located within a Controlled Parking Zone. The site has a PTAL of 4 (on a scale of 0 to 6, where 6 is the highest).
- 2.6 The north-eastern corner of the site is within Flood Zone 2.
- 2.7 It is noted that in recent months there has been a former tenant encamped on the roadside in a tent. However, that matter is separate to the planning merits of this case and the issue has been handled by the Property Management and Review Team and the unauthorised encampment and occupant are no longer present.

3. **PROPOSAL**

- 3.1 Planning permission is sought for the continued use of the dwellinghouse as a larger HMO (Use Class Sui Generis) with a reduced occupancy of 7 bedrooms (8 occupants). The existing use is unauthorised in planning terms with planning permission being required for use of a single dwellinghouse as an HMO with more than 6 occupants.
- 3.2 In terms of built form, the scheme seeks retention of a single storey extension to the rear elevation. The extension is large, with a depth of around 9m. It is of note that this extension was granted under application 17/P2391, however, an additional conservatory has been added without permission. Therefore, this single storey extension is currently unauthorised and unlawful in planning terms. However, the current application seeks to remove the unlawful conservatory as part of the proposals.

- 3.3 All rooms would have kitchenette facilities and each room would also have use of one of the two shared kitchens proposed.
- 3.4 5 of the rooms would have en-suite bathrooms, the remaining 2 rooms would have access to a communal first floor bathroom.
- 3.5 The proposed HMO would provide rooms with a range of 16.4sqm to 24.2sqm.
- 3.6 The layout would provide a living room (11.3sqm) at ground floor level with direct access to the rear garden.
- 3.7 An enclosure in the rear garden is proposed, to accommodate bin and cycle storage (11 cycle parking spaces and space for two 1100L Eurobins and a further 240L wheelie bin).
- 3.8 The retained garden would measure approximately 70sqm.
- 3.9 The application is accompanied by the following supporting documents:
- Letter from the applicant to the Council's Enforcement team - 4th May 2020.
 - HMO Licensing information.

4. PLANNING HISTORY

- 4.1 Relevant planning history is summarised as follows:
- 4.2 17/P2391 - PRIOR APPROVAL IN RESPECT OF THE PROPOSED ERECTION OF A SINGLE STOREY REAR EXTENSION WITH THE FOLLOWING DIMENSIONS: EXTENDS BEYOND THE REAR WALL OF THE ORIGINAL DWELLINGHOUSE BY 6 METRES THE MAXIMUM HEIGHT OF THE ENLARGED PART OF THE DWELLINGHOUSE WILL BE 3.8 METRES THE HEIGHT OF THE EAVES OF THE ENLARGED PART OF THE DWELLINGHOUSE WILL BE 2.9 METRES.
Prior Approval Not Required 08-08-2017

5. CONSULTATION

- 5.1 Site notice posted, neighbouring properties notified. 3 representation letters have been received, objecting on the following grounds:
- Safety concerns cited in this residential/family area.
 - An ex-tenant has been sloughing in a tent outside the property due to an on-going dispute regarding the construction of the single storey extension.
 - Concerns that there have been arguments at the property previously.
 - There is graffiti written over the property, and boards, stating the residence has been used as an illegal

residence and with accusations of illegal evictions and this puts me in doubt about the due diligence and processes that should be taken when placing tenants in the future.

Officer comment:

The comments above are noted. However, the issue of a tenant sleeping outside the site does not relate to the planning merits of the current proposal and that matter has been resolved through separately in any event. It is noted that no additional representations have been submitted since the proposals have been amended to reduce the number of rooms from 10 to 7.

5.2 LBM Planning Policy Team:

As the application proposes an increase in the number of HMO rooms the proposed uplift will need particular assessment regarding whether this constitutes an overconcentration detrimental to residential character and amenity.

Merton's recently published (SHMA) Strategic Housing Needs Study (July 2017) sets out the current and future housing needs for the borough. It includes an analysis of HMOs in Merton and identifies that Mitcham contains the highest number of existing and proposed HMOs in the borough as the following excerpts indicates:

Currently, there are a high number of HMOs in Mitcham with 65 registered properties and 39 applications in progress. This is four times as many as those in Raynes Park (SHMA para 8.62).

Table 75: Registered and future HMOs in Merton

Location	Registered	Application in progress	Total
Mitcham	65	39	104
Morden	11	19	30
Raynes Park	10	16	26
SW/CW	41	15	56
Wimbledon	46	22	68
Total	173	111	284

Source: LB Merton, 2019

The term over-concentration suggests the state of having too much of something. While the highest number of HMOs are in Mitcham this does not represent an overconcentration as Mitcham has the highest target client group (i.e. demand) in the borough for HMOs compounded also by the fact that viability and affordability issues make provision of HMOs in any other parts of the borough challenging.

Identified local need:

Like the majority of London boroughs, Merton's SHMA identifies that affordability continues to be a challenge in Merton and HMOs provide a relatively affordable housing option.

The SHMA identifies a growing pressure on the need for HMOs:

Engagement with local agents has suggested that the rental market in Merton has surged in the last 12 months, with increasing demand for rental properties placing pressure on availabilities in HMOs. They have highlighted that HMOs are appealing to the rental market in Merton as they offer flexibility and particularly with changing household structures and the growth of smaller households (SHMA para 8.63).

Well designed and managed HMOs contribute to providing a choice of homes and the establishment of mixed balanced communities. The SHMA indicates that despite anticipated increases in rental values the demand for HMOs remains unabated:

In anticipation of the tenant fee ban coming into effect in June 2019, local agents forecast an increase in rental values in the short term in Merton. However, agents suggest that the potential increase in rental values will not impact the demand for HMOs (para 8.66).

Residential character and amenity:

Advice of the Council's Environmental Health and Housing Team recommended to inform analysis and determination on the impact of this proposal on residential character and amenity. Whether an HMO license exists for the site should also be verified and whether or not any identified adverse impacts can be addressed by HMO licensing powers.

5.3 LBM Transport Planning:

The site is located in an area with a PTAL of 4 which is very good being well located to all the services and facilities afforded by the Mitcham district centre.

The site is not located within a Controlled Parking Zone and consequently the surrounding streets do not contain parking restrictions.

There is a dropped kerb access off Sandy Lane to the development site but the proposal does not provide parking within the site.

The proposal provides 11 cycle parking spaces within an enclosure in the rear garden. The cycle parking provision satisfies the London Plan Standards.

No objection raised. The proposal is unlikely to have a significant impact on the adjoining highway

5.4 LBM Environmental Health Officer (Noise):

No observations or comments.

5.5 LBM Environmental Health Officer (HMO Licensing)

- No issues or concerns in relation to fire safety, standard of accommodation or facilities provided. The HMO needs to meet the Council's adopted requirements vis a vis, food storage, food preparation, disposal of waste water and that earlier technical shortcomings have been rectified and an HMO licence has been granted for 13 occupants/11 household.
- No complaints have been received by the Environmental Health Team regarding the use of the property as an HMO.

Officer comment:

A HMO Licence has been granted for the use of the site building as a HMO. However, the planning proposal seeks a reduced occupancy. Fire safety measures have been added to the plans and include smoke and heat detectors, fire blankets, emergency lighting and fire resistant meter boxes.

5.6 LBM Anti-Social Behaviour Officer (16/09/2020):

Confirm that no complaints have been received in relation to the use of the property as a HMO but complaints had been received relating to the unauthorised encampment to the frontage of the property on highway land.

5.7 Metropolitan Police Designing Out Crime Officer:

Summary of comments:

- There is a current issue of a man sleeping in a tent in the front garden of this address which police and the council are aware of.
- The residential communal entrance should be video access controlled SBD approved entries.
- Mail delivery should be to a facility at the primary entrance point of the building within view of those using the building.
- A zoned encrypted fob controlled system should be installed to control access throughout the building.
- All lighting should be to the required British Standards and local council requirements, avoiding the various forms of light pollution, vertical and horizontal glare. The lighting should be as sustainable as possible with good uniformity. Bollard lights and architectural up lighting are not considered as a good lighting sources. White light aids good CCTV colour rendition and gives a feeling of security to the residents and visitors.

- A CCTV system should be installed with a simple Operational Requirement (OR) detailed to ensure that the equipment fitted meets that standard, without an OR it is hard to assess a system as being effective or proportionate as its targeted purpose has not been defined. The OR will also set out a minimum performance specification for the system. The system should be capable of generating evidential quality images day or night 24/7. For SBD CCTV systems there is a requirement that the system is operated in accordance with the best practice guidelines of the Surveillance and Data Protection Commissioners and the Human Rights Act.

Officer comment:

Suitably worded conditions are recommended to ensure that details of lighting, mailbox provision and CCTV are provided.

6. **POLICY CONTEXT**

6.1 NPPF - National Planning Policy Framework (2019):

Part 5 Delivering a sufficient supply of homes
Part 12 Achieving well-designed places

6.2 London Plan (2021):

D4 Delivering good design
D5 Inclusive design
D6 Housing quality and standards
D11 Safety, security and resilience to emergency
D12 Fire safety
D13 Agent of Change
D14 Noise
H1 Increasing housing supply
H9 Ensuring the best use of stock
T5 Cycling
T6 Car parking
T6.1 Residential parking

6.3 Merton adopted Core Strategy (July 2011):

CS2 Mitcham Sub-Area
CS8 Housing Choice
CS9 Housing Provision
CS14 Design
CS20 Parking, servicing and delivery

6.4 Merton adopted Sites and Policies document (July 2014):

DM H5 Student housing, other housing with shared facilities and bedsits
DM D2 Design considerations in all developments
DM D3 Alterations and extensions to existing buildings
DM EP2 Reducing and mitigating noise
DM T1 Support for sustainable transport and active travel
DM T2 Transport impacts of development
DM T3 Car parking and servicing standards

- 6.5 Other guidance:
London Housing SPG – 2016
London Character and Context SPG – 2014
Accessible London: Achieving an Inclusive Environment – 2014

7. **PLANNING CONSIDERATIONS**

7.1 Principle of development

7.1.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that when determining a planning application, regard is to be had to the development plan, and the determination shall be made in accordance with the development plan, unless material considerations indicate otherwise.

7.1.2 In relation to HMOs, the London Plan states at policy H9 that “(HMOs) are an important part of London’s housing offer, reducing pressure on other elements of the housing stock. Their quality can, however, give rise to concern. Where they are of a reasonable standard they should generally be protected”.

7.1.3 Policy CS 8 states that the Council will seek the provision of a mix of housing types, sizes and tenures at a local level to meet the needs of the all sectors of the community. This includes the provision of family sized and smaller housing units, provision for those unable to compete financially in the housing market sector and for those with special needs. Property managed and regulated Houses in Multiple Occupation can offer good quality affordable accommodation to people who cannot afford to buy their own homes and are not eligible for social housing.

7.1.4 Policy DM H5 of the Sites and Policies Plan aims to create socially mixed communities, catering for all sectors of the community by providing a choice of housing with respect to dwelling size and type in the borough.

7.1.5 The development of student housing, other housing with shared facilities and bedsits is supported provided that the development:

- i. will not involve the loss of permanent housing;
 - ii. will not compromise capacity to meet the supply of land for additional self-contained homes;
 - iii. meets an identified local need;
 - iv. will not result in an overconcentration of similar uses detrimental to residential character and amenity;
 - v. complies with all relevant standards for that use;
- and,
- vi. is fully integrated into the residential surroundings.

7.1.6 The use of the existing dwellinghouse as a HMO with 7 bedrooms and 8 occupants, is a material change of use and requires planning permission.

- 7.1.7 In addition, the physical alterations require planning permission and should be assessed against the policies of the Development Plan.
- 7.1.8 In terms of the standard of accommodation for the HMO, this is largely addressed under Licensing requirements as opposed to through the planning system. The layout and size of the rooms and shared facilities meets the relevant Licensing requirements. It is noted that the applicant has submitted information relating to the Licensing process and the Environmental Health team has confirmed that a Licence has been granted for the use as a HMO. In addition, it is noted that the Environmental Health service and Anti-Social Behaviour Officer raise no objection to the proposal.
- 7.1.9 The main considerations of the proposal are the impact that the proposed development would have on the character of the area, the impact that it would have on neighbouring residents and highway considerations.
- 7.2 Compliance with Policy DM H5
- 7.2.1 The existing use of the site is as a HMO and therefore the use as a larger HMO would not result in the loss of permanent housing. In any event, the use of the building would provide housing.
- 7.2.2 The building could be used at a later date as self-contained housing, albeit with modifications, and as such the proposal would not compromise the capacity to meet the supply of land for homes.
- 7.2.3 There is an identified local need for HMOs, as identified in the Strategic Housing Market Assessment and confirmed by the Council's Planning Policy Team.
- 7.2.4 In terms of an over-concentration of HMOs, within the borough, Mitcham has the highest overall number of HMOs. However, there is no indication that there is an over-concentration. It is noted that there are four other HMOs on Streatham Road at Nos. 37, 198, 205 and 219A but this is not considered to amount to an over-concentration within the locality. Coupled with the application site, larger HMOs (more than 6 occupants) would comprise no more than 5 out of over 260 dwellings along a 800m+ stretch of Streatham Road (source: Merton HMO Public Register November 2019).
- 7.2.5 The Environmental Health Service and Anti-Social Behaviour Officer have confirmed that no complaints have been received regarding the existing HMO and therefore there is no indication that the enlargement would result in effects that would be detrimental to residential character or amenity.
- 7.2.6 The proposal would comply with the relevant standards for use as a HMO and would be controlled by way of the Councils Licensing team.

- 7.2.7 The proposal has been amended to ensure that the visual impact is acceptable (provision of bin and cycle store) and officers consider that the proposed built form would be fully integrated into its residential surroundings.
- 7.2.8 The applicant has submitted documents relating to the Licensing of the property as an HMO. This documentation demonstrates that the proposed management arrangements for the house are satisfactory (for the purposes of granting a Licence). It is noted that the Licensing requirements include dealing with anti-social behaviour under the Tenancy Agreement, including notifying the Council and Police. The information submitted sets out that information would be made available to occupants so they are aware of contact details for the manager of the building. The applicant also indicates that prospective occupants would be referenced in an attempt to minimise anti-social behaviour. Whilst there is still some potential for anti-social behaviour, it is considered that the applicant has taken reasonable steps to seek to minimise this impact.
- 7.2.9 The proposal is considered to comply with Policy DM H5.
- 7.3 Impact on the character of the area
- 7.3.1 Policies DMD2 and DMD3 seek to ensure a high quality of design in all development, which relates positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings and existing street patterns, historic context, urban layout and landscape features of the surrounding area. Core Planning Policy CS14 supports these SPP Policies.
- 7.3.2 No objection is raised in relation to the visual impact of the proposed extension to the rear, as this is not in a visually prominent area and would not adversely affect the character of the area.
- 7.3.3 Officers initially raised concerns regarding the lack of suitable bin and cycle storage. However, the application has been amended to show bin storage and cycle parking to the rear and, subject to condition, the proposal is considered to be acceptable in terms of the impact on the character and appearance of the area.
- 7.3.4 The proposal is considered to comply with Policies DM D2 and DM D3 in regards to visual amenity and design.
- 7.4 Residential Amenity
- 7.4.1 Policies DM D2 and DM D3 seek to ensure that development does not adversely impact on the amenity of nearby residential properties.
- 7.4.2 The proposed single storey extension is not considered to result in material harm to neighbouring occupiers, as it is

separated from the site boundaries and has a limited overall height.

7.4.3 The use of the site is currently for as a single family dwellinghouse. The use as a HMO with 8 occupants has a greater potential for noise disturbance to neighbouring occupiers and the general disturbance caused by occupants and guests accessing and exiting the building and using external communal amenity space. Therefore, there is likely to be an increase in the general level of noise and activity at this site, over and above its lawful use as a single dwellinghouse. Officers note however that the level of occupancy is only two greater than could arise without the need for planning permission.

7.4.4 Officers would further note that the site is a corner plot with only one dwelling attached and not part of a terrace, and where the impact on neighbours would be lessened. The internal layout of the dwelling is such that at ground floor level and part of the first floor the spaces adjoining an internal party wall with the neighbour serve hallways and landings. Access to the bin store, cycle store and rear garden would only have an impact on the directly adjoining neighbours. Subject to suitable on-going management arrangements to minimise anti-social behaviour, officers consider that there would not be reasonable grounds to refuse the application on the basis of harm to residential amenity.

7.4.5 The proposal is considered to comply with Policy DM D2 in terms of residential amenity.

7.5 Standard of accommodation

7.5.1 As noted above, the standard of accommodation is addressed through the requirement to Licence an HMO. The requirements relate to the number and size of shared facilities, internal bedroom size etc. This matter would be addressed through Licensing rather than through this planning application. Notwithstanding that, the applicant has made efforts to ensure that the level of detail required for Licensing purposes is included in the planning application drawings, including fire safety precautions, details of useable worktop space, positions of sinks etc.

7.5.2 The proposal includes two shared kitchens, one on the ground floor and one on the first floor along with a communal living room on the ground floor with direct access to the rear garden. A shared garden of approximately 50sqm would be provided. Taken together, the proposal is considered to provide an adequate standard of accommodation and officers raise no objection on this basis.

7.6 Safety and Security considerations

7.6.1 Policy DMD2 sets out that all developments must provide layouts that are safe, secure and take account of crime

prevention and are developed in accordance with Secured by Design principles.

7.6.2 The use as a HMO presents some additional challenges to maintaining safety and security over and above a single family dwellinghouse. Whilst not required for Licensing purposes, given the comments of the Designing Out Crime Officer it is considered reasonable and necessary to impose conditions to require details of CCTV, mail boxes and external lighting, in order to ensure that the proposed development minimises the opportunity for anti-social behaviour and crime.

7.7 Parking and highway considerations

7.7.1 Policy T6 of the London Plan states that Car-free development should be the starting point for all development proposals in places that are (or are planned to be) well-connected by public transport. At a local level Policy CS20 requires developers to demonstrate that their development will not adversely affect on-street parking or traffic management. Policies DMT1-T3 seek to ensure that developments do not result in congestion, have a minimal impact on existing transport infrastructure and provide suitable levels of parking.

7.7.2 The site is not within a CPZ. No off-street car parking is proposed but cycle parking for 11 bicycles would be provided.

7.7.3 In terms of parking standards, the London Plan does not differentiate between single family dwellings and HMOs but it is of note that census data indicates that tenants of HMOs have lower than average car ownership than the general population. The site has a vehicular access onto Streatham Road which appears to have historically provided space for the parking of at least one car. The current scheme would remove access to off-street parking and therefore, there is potential for additional pressure on roadside parking in the locality.

7.7.4 However, given that the site is not within a CPZ and that sufficient cycle parking is provided, which would encourage alternative modes to using a private car, it is considered that the proposal would be acceptable in terms of its impact on the local highway network and parking in the locality.

7.7.5 The proposal is considered to be acceptable in terms of parking and highway considerations.

7.8 Response to issues raised by objectors:

7.8.1 In terms of the issues raised by objectors, such as anti-social behaviour, littering, noise etc – there is no direct link that the use as a HMO would result in these adverse effects, if properly managed. The application could not reasonably be refused based on the suspected behaviour of future occupants.

8. Conclusion

- 8.1 The proposal would provide for a larger HMO, a type of accommodation for which there is a recognized need in the borough.
- 8.2 As a matter of judgement, the proposal would not result in an overconcentration of HMO's in the locality or a detrimental impact on neighbour amenity which would warrant a refusal of planning permission. The removal of the unauthorised conservatory, originally proposed as part of the HMO accommodation is welcomed and officers recommend that permission be granted.

RECOMMENDATION:

Grant Permission Subject to the following Conditions:

1. A1 Commencement of development (full application)
2. A7 Approved Plans
3. B3 External Materials as Specified
4. B4 Details of surface treatment
5. C07 Refuse & Recycling (Implementation)
6. C08 No Use of Flat Roof
7. H07 Cycle Parking (Implementation)
8. Non-standard condition

Within 3 months of the date of this permission a scheme for:

- the provision of individual mailboxes
- a scheme for the installation, use and on-going maintenance of a CCTV system
- a scheme for the provision of external lighting

within the development shall be submitted to and approved in writing by the Local Planning Authority. The agreed measures shall be carried out in accordance with the approved details and shall become operational within 3 months of the date of the discharge of this condition. The agreed measures shall be retained in perpetuity. Thereafter, if the works have not been completed the use as an HMO shall cease until the works have been completed.

Reason: In order to achieve a safe and secure layout and to achieve the principles and objectives of Secured by Design to improve community safety and crime prevention in accordance with Policy 14 (22.17) of Merton Core Strategy: Design and Strategic Objectives 2(b) and 5(f); and Policy D11 of the London Plan.

9. The House in Multiple Occupation hereby approved shall not accommodate more than 8 occupants at any one time.

Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with the following Development Plan policies for Merton:

Informatives:

1. INF 15 Discharge conditions prior to commencement of work (or similar wording)
2. INFORMATIVE. The applicant is advised that this permission is based on the removal of the currently unauthorised conservatory and reconfiguration of the internal layout to provide accommodation for no more than 8 occupants.

Continued use as an HMO for more than 8 occupants and retention of the conservatory may be liable to enforcement action being taken under the Planning Acts. The current use is unauthorised. This permission does not enable the continued use as currently configured.

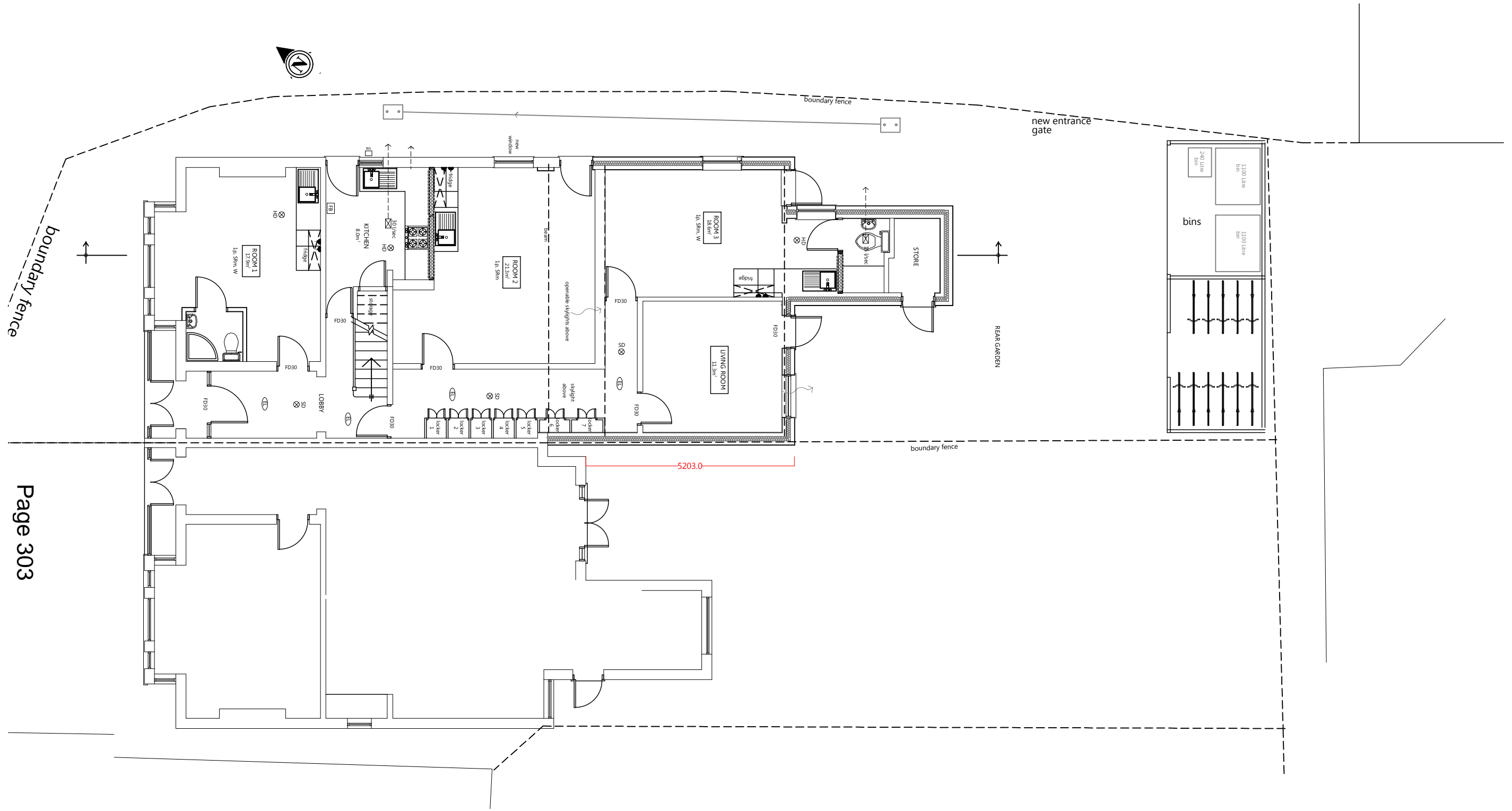
3. Note To Applicant - Scheme Amended During Application Lifecycle

NORTHGATE SE GIS Print Template



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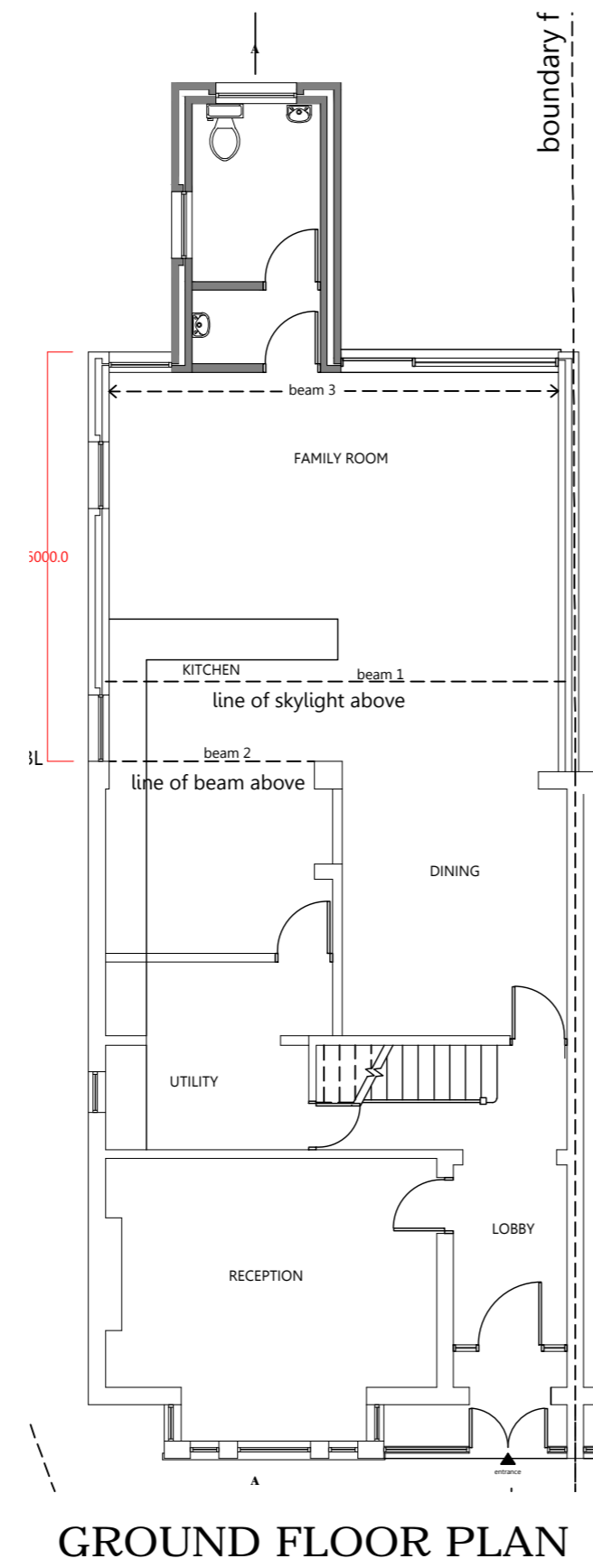
Page 303

SITE PLAN

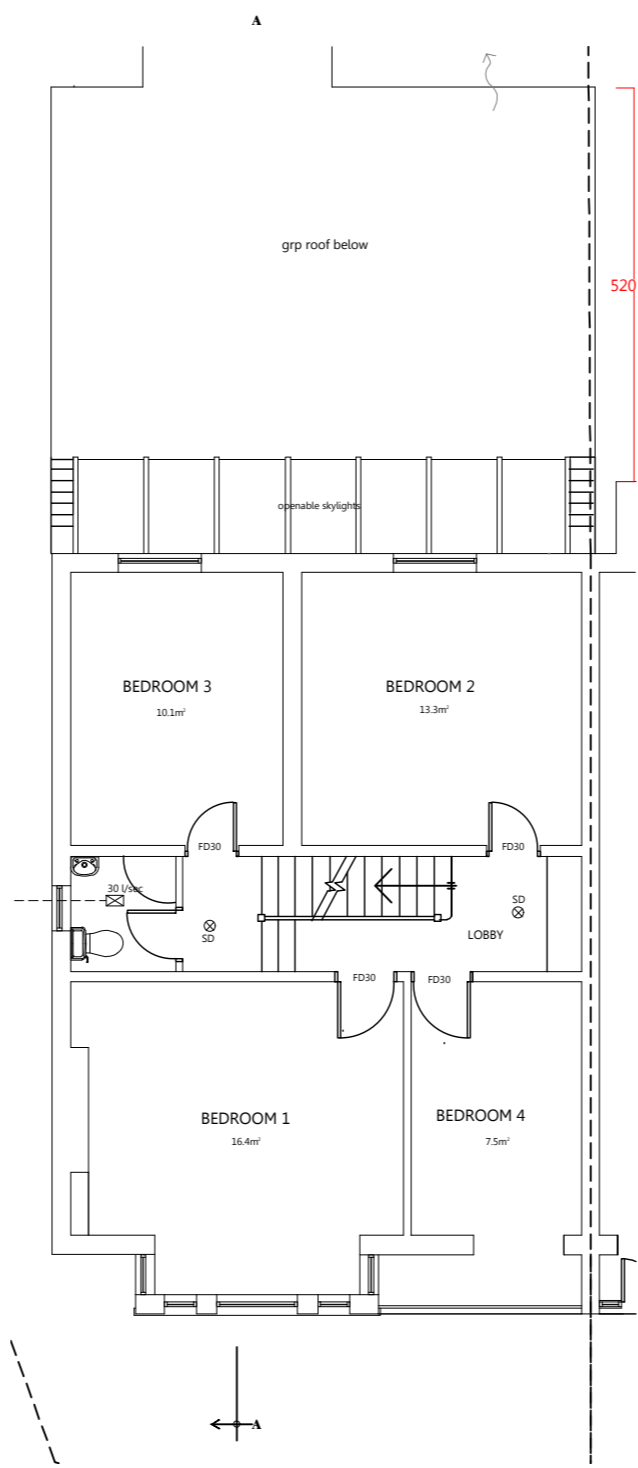


rev. A	date April 21	Layout updated	title Site Plan showing Ground Floor layout		scale 1:100@A3	project title HMO proposals, 51 Streatham Road, CR4		Planning Application HMO
			Mattix limited 6 Cliff End, Purley Croydon. CR8 1BN		Cert. Number 10517083; Tel: 0208 406 7473 E-mail: mattixh@yahoo.com	drawn Gerry Hornsby	drawing number GM26-018s	
					checked Gerry Hornsby			

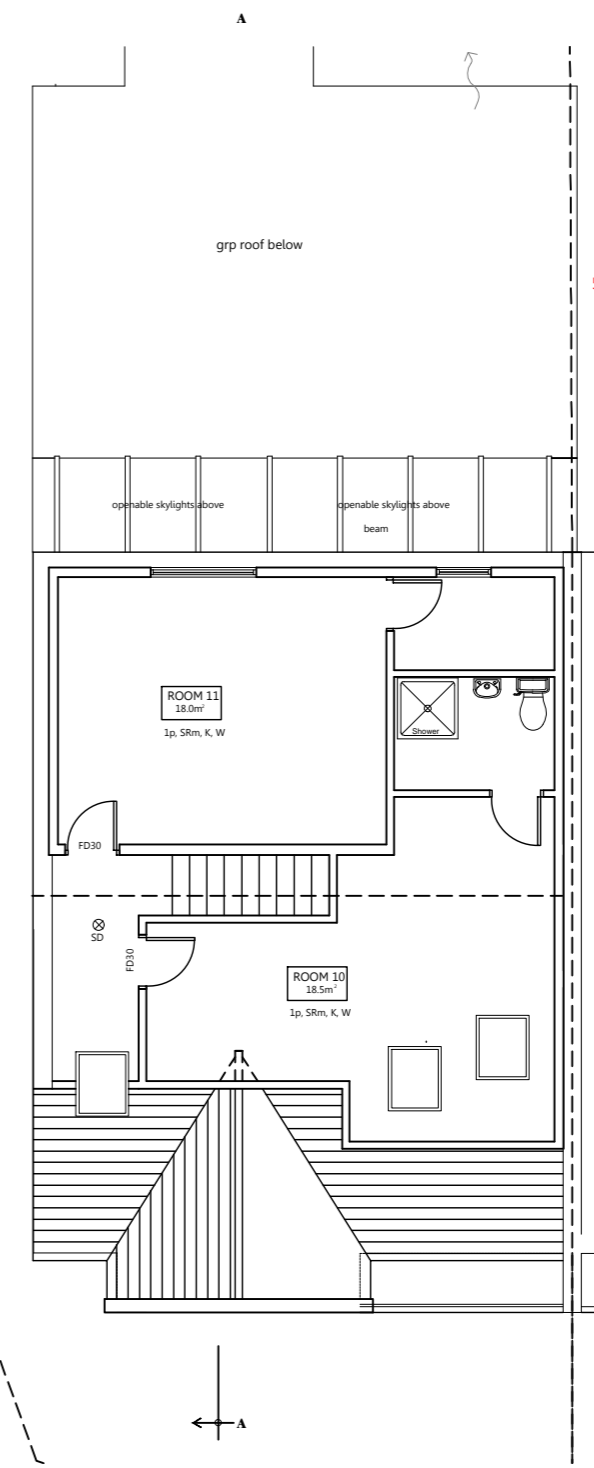
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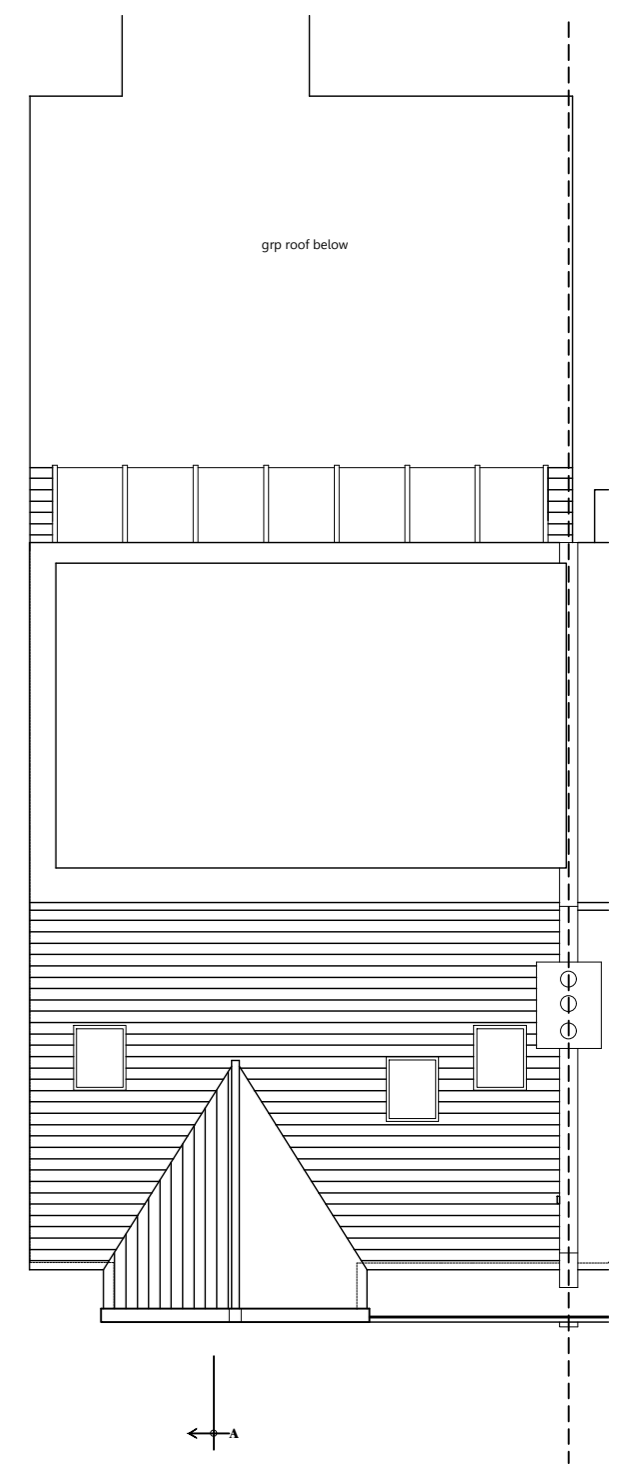
GROUND FLOOR PLAN



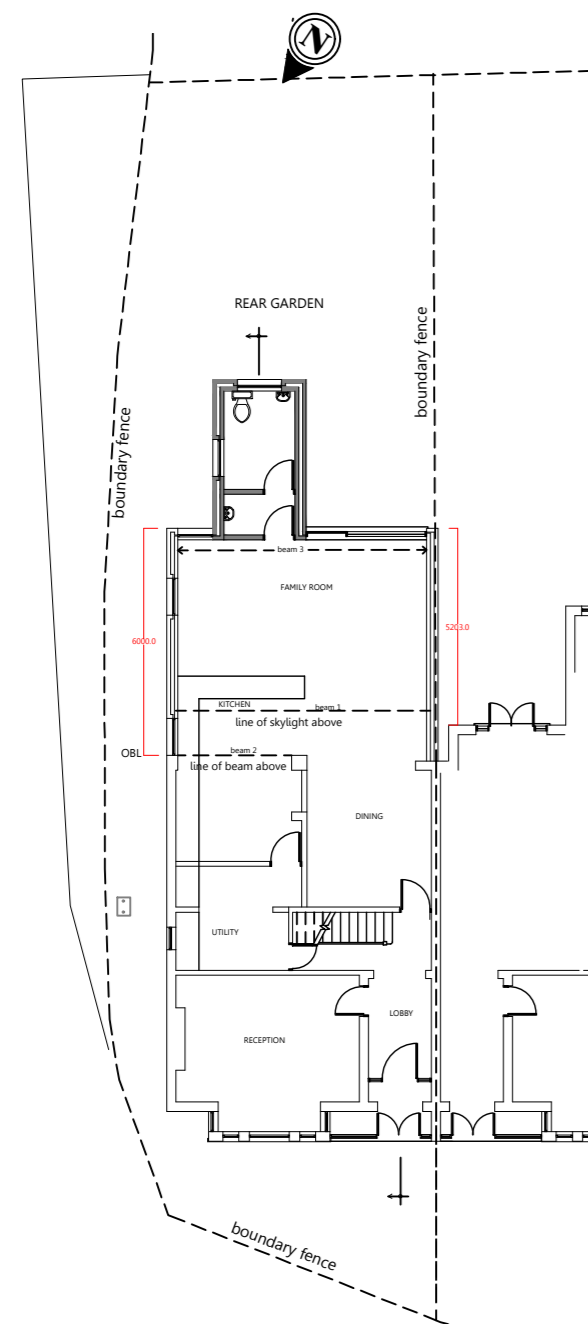
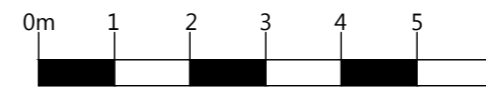
FIRST FLOOR PLAN



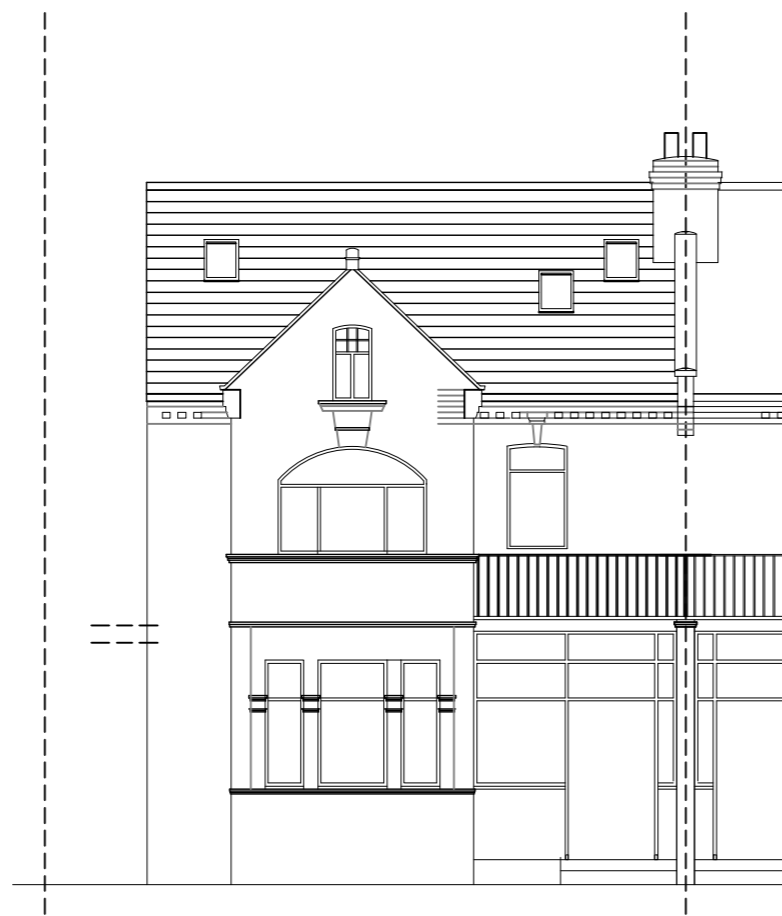
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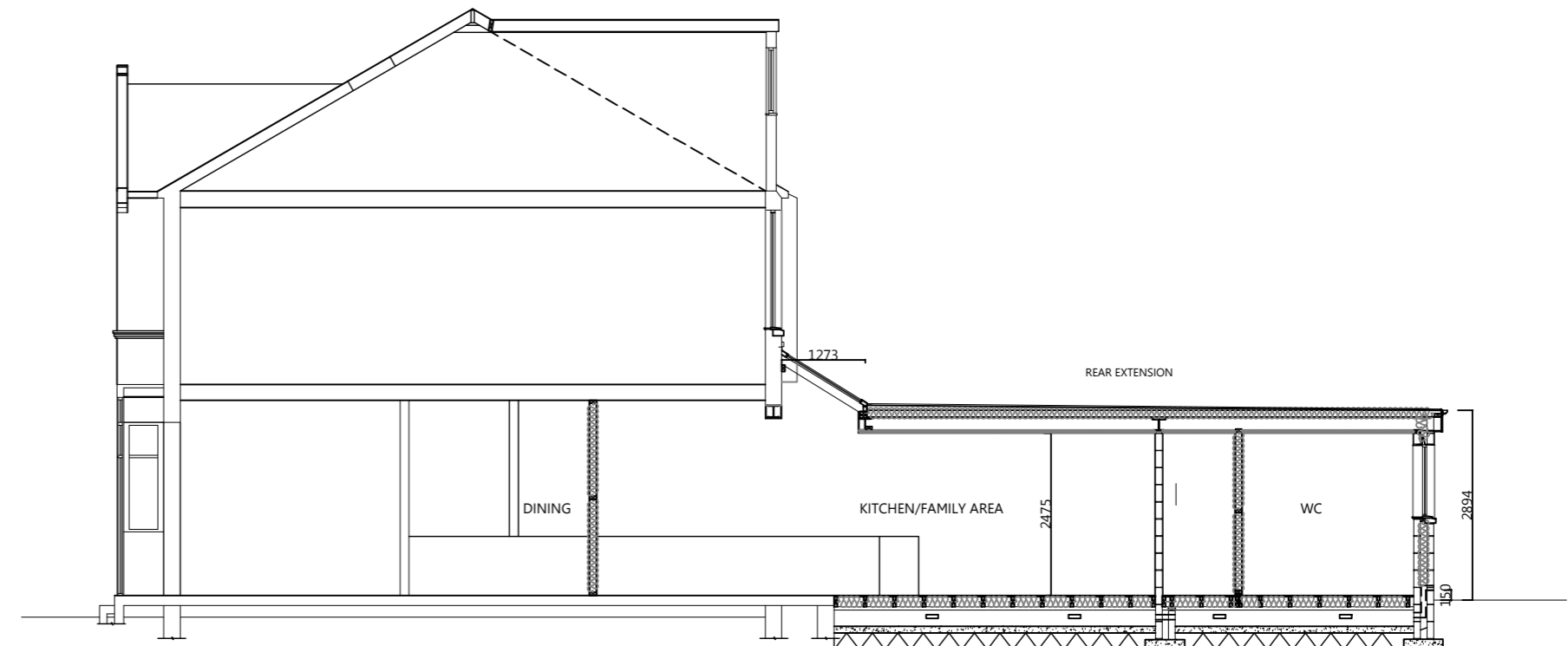
ROOF PLAN



SITE PLAN



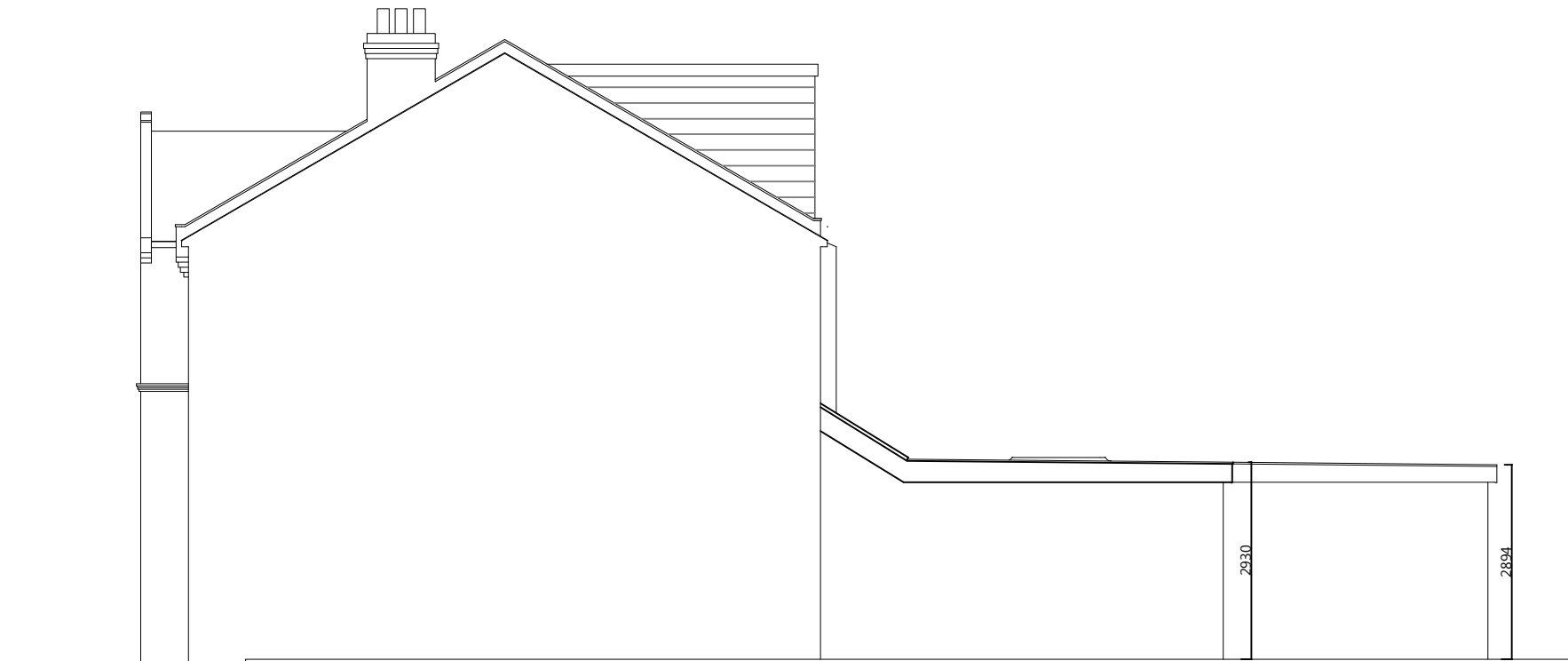
FRONT ELEVATION



SECTION A-A

rev.	date	title Pre Works- Plans, Elevations and Section	scale 1:1250, 1:100 and 1:200	project title Proposed HMO, 51 Streatham Road, CR4	rev.	Planning Application HMO
		Mattix limited 7 Cliff End, Purley Croydon, CR8 1BP	drawn Gerry Hornsby	drawing number GM26-014		
			checked Gerry Hornsby			

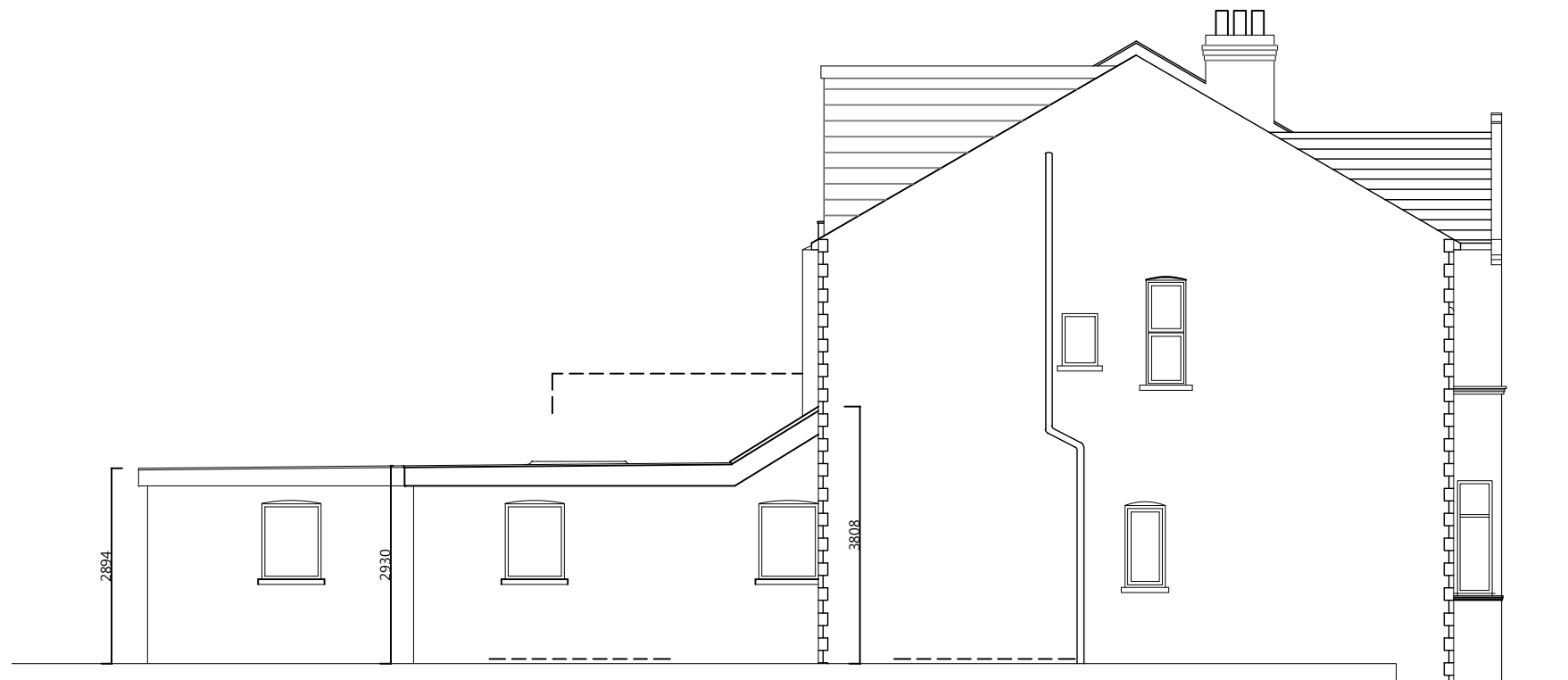
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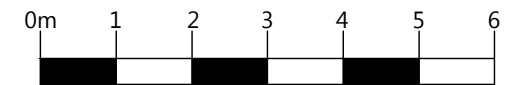
SOUTH WEST ELEVATION



REAR ELEVATION

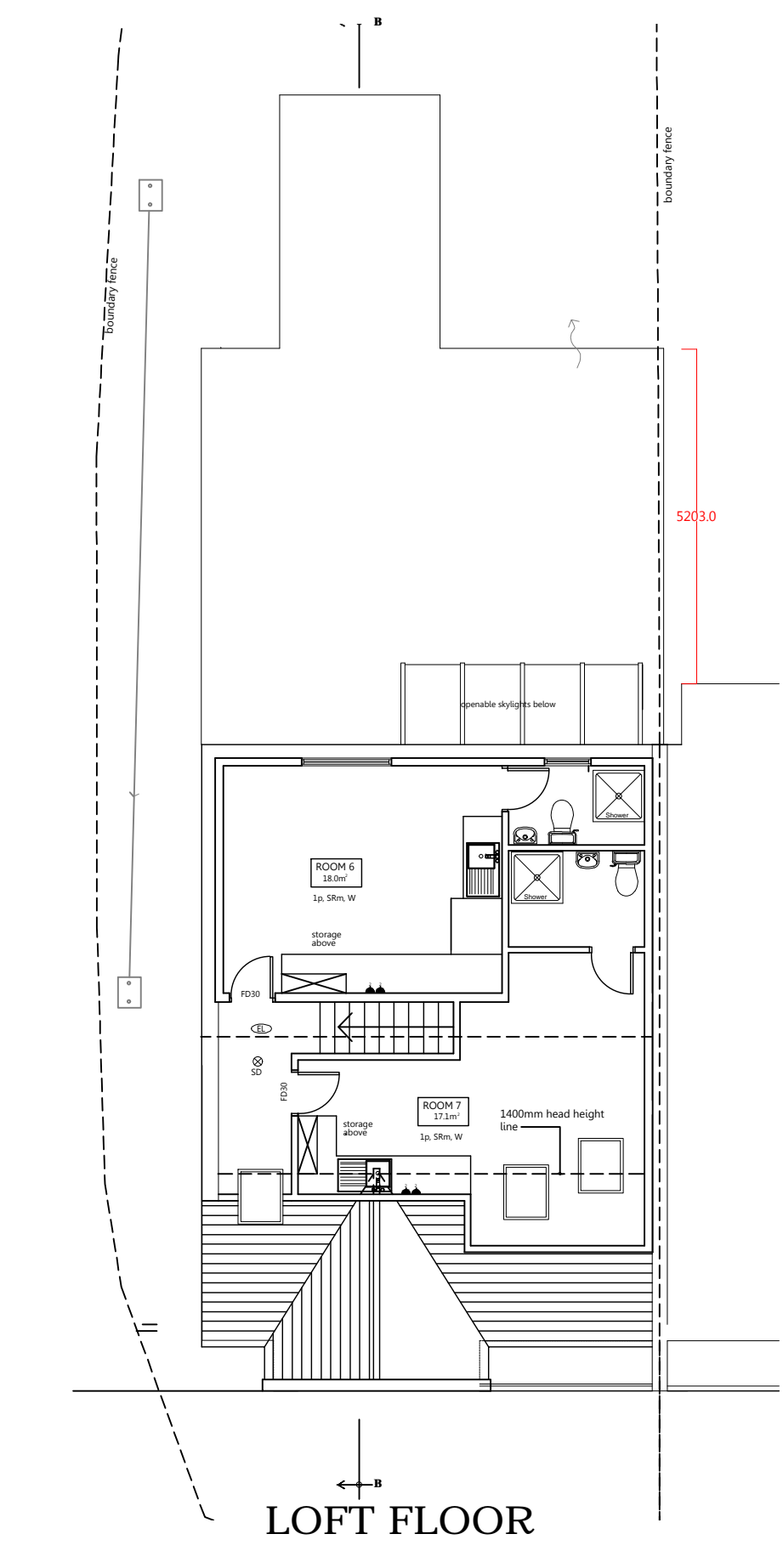
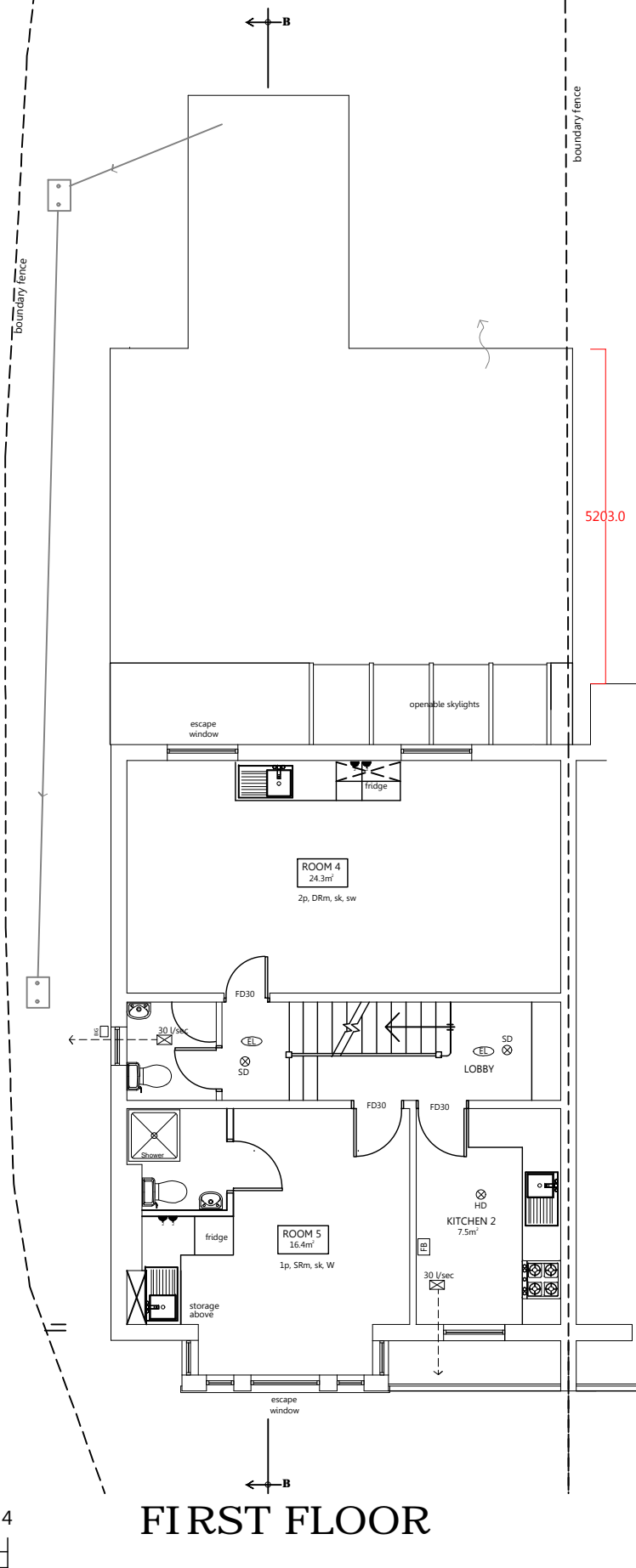
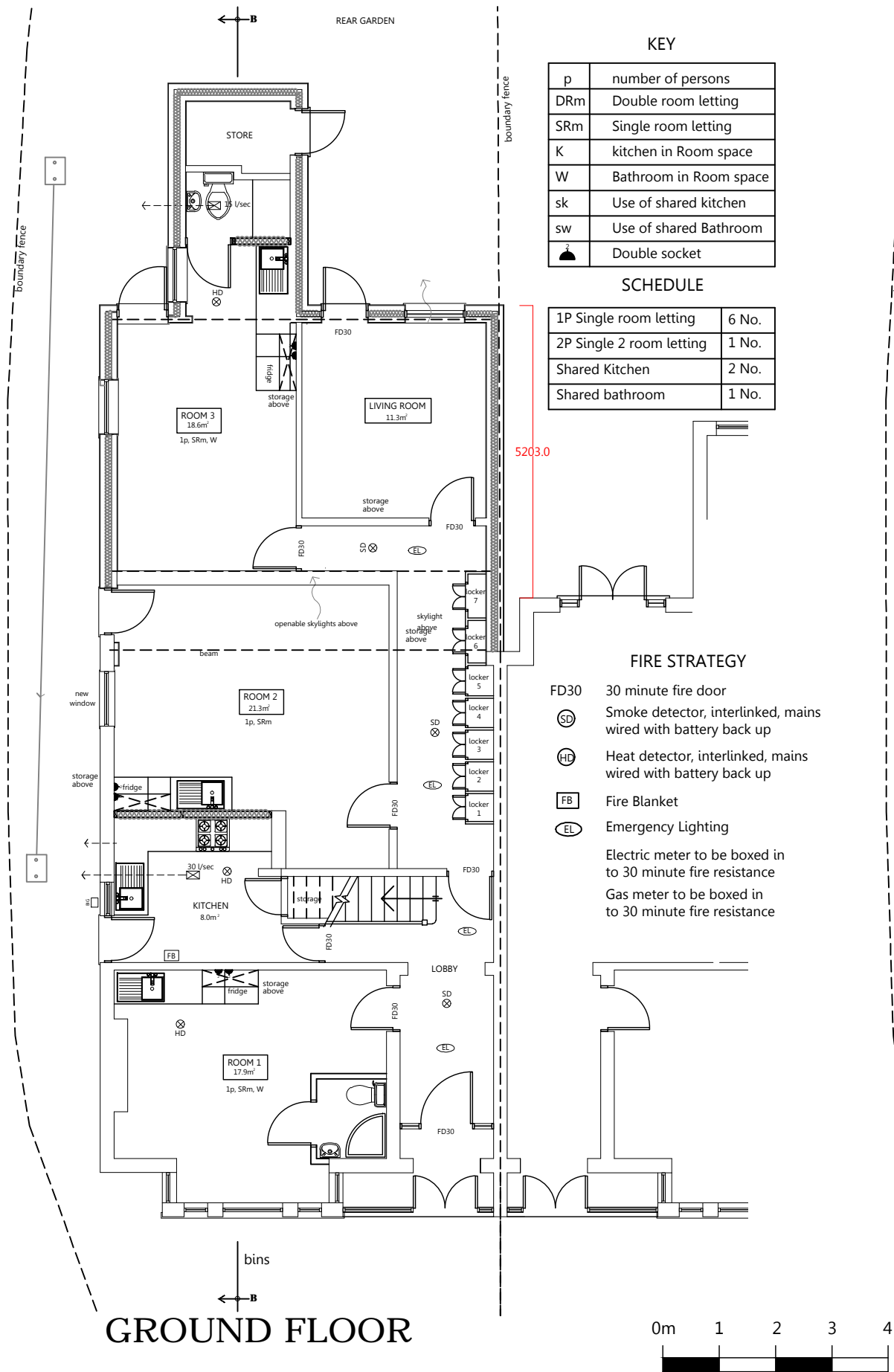


NORTH EAST ELEVATION



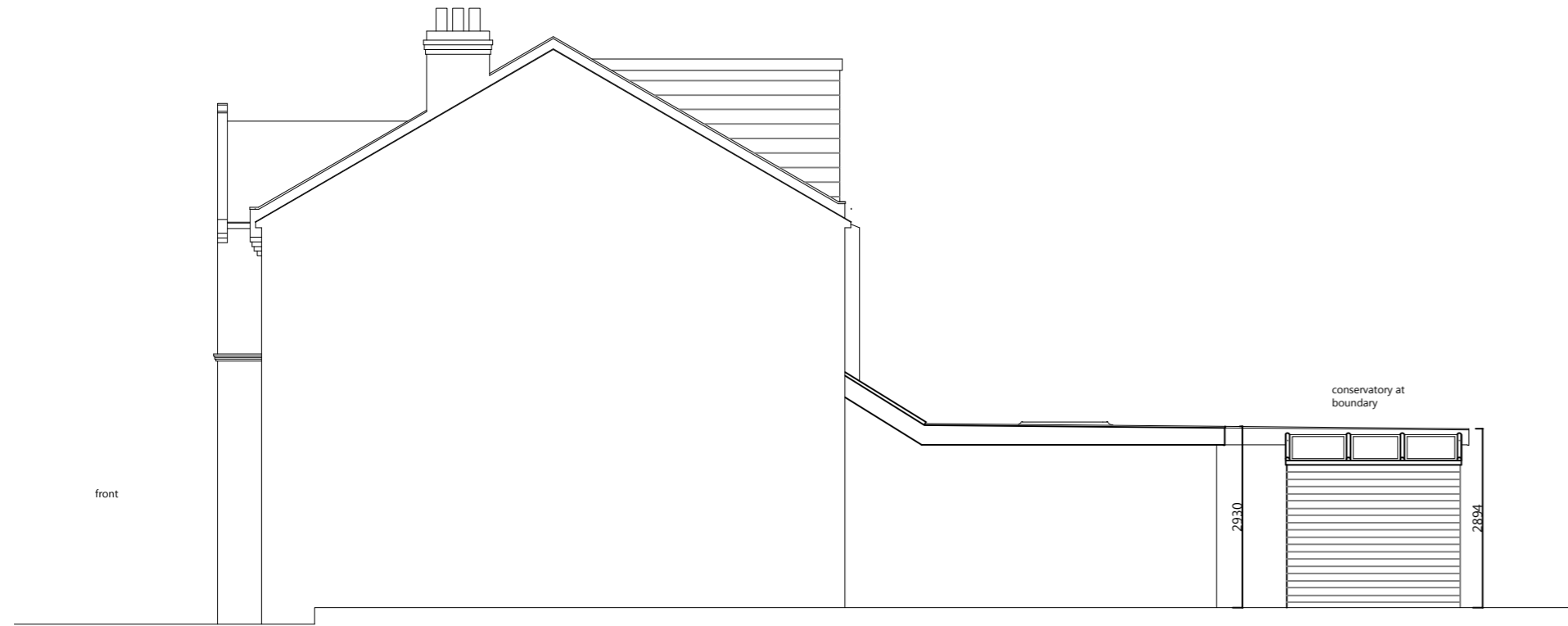
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			date May 2019		
		Mattix limited 7 Cliff End, Purley Croydon. CR8 1BP	drawn Gerry Hornsby	drawing number GM26-015	rev.
		Cert. Number; Tel: 0208 406 7473 E-mail;	checked Gerry Hornsby		

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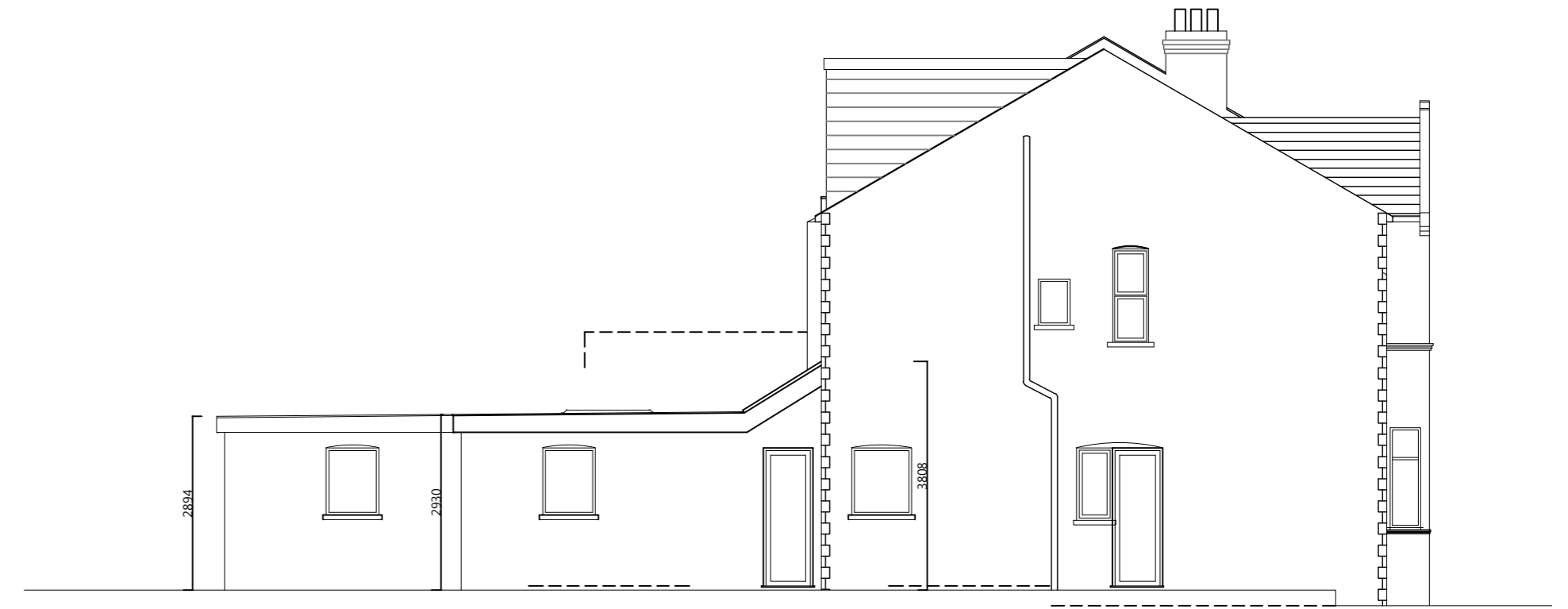


rev.	date	title	scale	project title		rev.	Planning Application HMO
				51 Streatham Road, CR4			
F	Feb 21	Total units reduced to 7	1:50	51 Streatham Road, CR4		G	GM26-016
Mattix limited 6 Cliff End, Purley Croydon. CR8 1BN			date	drawn	drawing number		
			February 2019	Gerry Hornsby			
			checked	Gerry Hornsby			
			Cert. Number 10517083; Tel: 0208 406 7473 E-mail: mattix@yahoo.com				

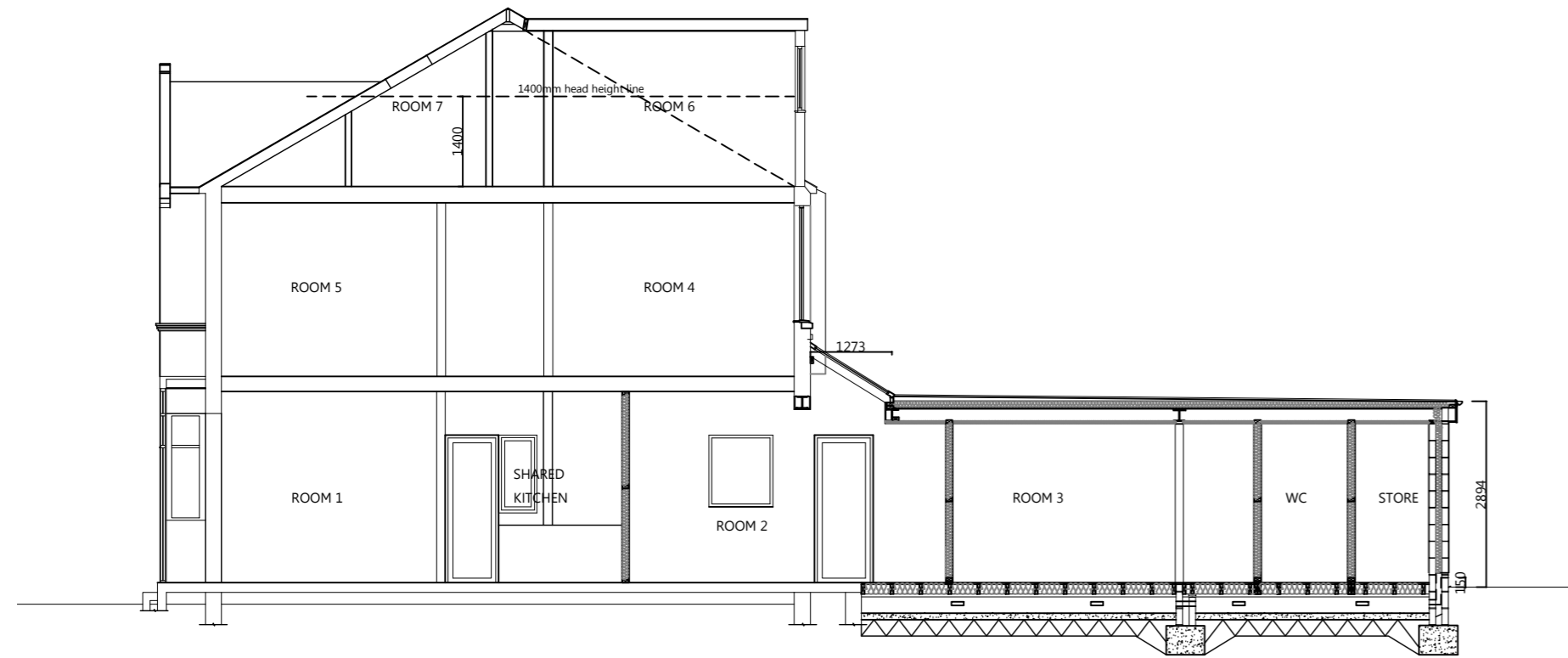
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SOUTH WEST ELEVATION



NORTH EAST ELEVATION



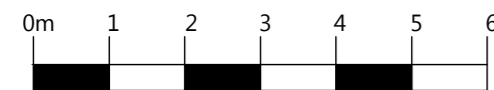
SECTION B-B



REAR ELEVATION



FRONT ELEVATION



rev.	date	title Elevations and Section	scale 1:100 @ A2	project title 51 Streatham Road, CR4	Planning Application HMO
		Mattix limited 6 Cliff End, Purley Croydon, CR8 1BN	date May 2019	drawing number GM26-017	
		Cert. Number: 10517083 Tel: 0208 406 7473 E-mail: mattix@yahoo.com	drawn Gery Hornsby	rev. F	
			checked Gery Hornsby		

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Committee: Planning Applications

Date: 29th April 2021

Subject: Planning Appeal Decisions

Lead officer: Head of Sustainable Communities

Lead member: Chair, Planning Applications Committee

Recommendation:

That Members note the contents of the report.

1. PURPOSE OF REPORT AND EXECUTIVE SUMMARY

- 1.1 For Members' information recent decisions made by Inspectors appointed by the Secretary of State for Communities and Local Government in respect of recent Town Planning Appeals are set out below.
- 1.2 The relevant Inspectors decision letters are not attached to this report but can be viewed by following each individual link. Other agenda papers for this meeting can be viewed on the Committee Page of the Council Website via the following link:

[LINK TO COMMITTEE PAGE](#)

No Appeal Decisions received in April

Alternative options

- 3.1 The appeal decision is final unless it is successfully challenged in the Courts. If a challenge is successful, the appeal decision will be quashed and the case returned to the Secretary of State for re-determination. It does not follow necessarily that the original appeal decision will be reversed when it is re-determined.
- 3.2 The Council may wish to consider taking legal advice before embarking on a challenge. The following applies: Under the provision of Section 288 of the Town & Country Planning Act 1990, or Section 63 of the Planning (Listed Buildings and Conservation Areas) Act 1990, a person or an establishment who is aggrieved

by a decision may seek to have it quashed by making an application to the High Court on the following grounds: -

1. That the decision is not within the powers of the Act; or
2. That any of the relevant requirements have not been complied with; (relevant requirements means any requirements of the 1990 Act or of the Tribunal's Land Enquiries Act 1992, or of any Order, Regulation or Rule made under those Acts).

1 CONSULTATION UNDERTAKEN OR PROPOSED

- 1.1. None required for the purposes of this report.

2 TIMETABLE

- 2.1. N/A

3 FINANCIAL, RESOURCE AND PROPERTY IMPLICATIONS

- 3.1. There are financial implications for the Council in respect of appeal decisions where costs are awarded against the Council.

4 LEGAL AND STATUTORY IMPLICATIONS

- 4.1. An Inspector's decision may be challenged in the High Court, within 6 weeks of the date of the decision letter (see above).

5 HUMAN RIGHTS, EQUALITIES AND COMMUNITY COHESION IMPLICATIONS

- 5.1. None for the purposes of this report.

6 CRIME AND DISORDER IMPLICATIONS

- 6.1. None for the purposes of this report.

7 RISK MANAGEMENT AND HEALTH AND SAFETY IMPLICATIONS

- 7.1. See 6.1 above.

8 BACKGROUND PAPERS

- 8.1. The papers used to compile this report are the Council's Development Control service's Town Planning files relating to the sites referred to above and the agendas and minutes of the Planning Applications Committee where relevant.

Committee: Planning Applications Committee

Date: 29th April 2021

Agenda item:

Wards: All

Subject: PLANNING ENFORCEMENT - SUMMARY OF CURRENT CASES

Lead officer: HEAD OF SUSTAINABLE COMMUNITIES

Lead member: CABINET MEMBER FOR REGENERATION, HOUSING AND
TRANSPORT COUNCILLOR MARTIN WHELTON

COUNCILLOR DAVE WARD, CHAIR, PLANNING APPLICATIONS COMMITTEE

Contact Officer Ray Littlefield: 0208 545 3911
Ray.Littlefield@merton.gov.uk

Recommendation:

That Members note the contents of the report.

1. Purpose of report and executive summary

This report details a summary of casework being dealt with by the Planning Enforcement Team and contains figures of the number of different types of cases being progressed, with brief summaries of all new enforcement notices and the progress of all enforcement appeals.

Current Enforcement Cases:	516	¹ (500)	New Appeals:	(0)	(0)
New Complaints	37	(38)	Instructions to Legal	1	(1)
Cases Closed	21		Existing Appeals	2	(2)
No Breach:	17		<hr/>		
Breach Ceased:	4		TREE ISSUES		
NFA ² (see below):	0		Tree Applications Received	91	(73)
Total	21		% Determined within time limits:	30%	
New Enforcement Notices Issued			High Hedges Complaint	0	(0)
Breach of Condition Notice:	0		New Tree Preservation Orders (TPO)	2	(0)
New Enforcement Notice issued	0	(0)	Tree Replacement Notice	0	
S.215: ³	0		Tree/High Hedge Appeal	0	(1)
Others (PCN, TSN)	1	(1)			
Total	0	(0)			
Prosecutions: (instructed)	0	(0)			

Note (*figures are for the period from (6th March 2021 to 20th April 2021*). The figure for current enforcement cases was taken directly from M3 crystal report.

¹ Totals in brackets are previous month's figures

² confirmed breach but not expedient to take further action.

³ S215 Notice: Land Adversely Affecting Amenity of Neighbourhood.

2.0 New Enforcement Actions

193 London Road, CR4 2JD. This is concerning a s215 notice served on untidy land. A s215 notice was issued on 1st December 2020. This notice requires compliance at the end of February 2021 requiring the Land to be tidied up / cleared.

283 Galpins Road CR7 6EY. This is concerning a s215 notice served on untidy land. A s215 notice was issued on 23 December 2019. This notice required compliance at the end of February 2020 requiring the Land to be tidied up / cleared. Site visit arranged.

31 Edgehill Road, Mitcham, CR4 2HY. This is concerning a raised platform/garden that has been raised by approximately 90cm. An enforcement notice has been served to remove the raised platform and reduce the garden level by 90cm. The notice would have taken effect on 18/12/19, with a compliance date of 18/03/20, however an appeal has been submitted and is underway.

193 London Road CR4 2TJ. This is concerning untidy land to the side and rear of 193 London Road. An initial site visit was carried out, multiple letters have been sent to the property asking for compliance and for them to contact the Council to confirm a compliance schedule of works. Correspondence from the owner has been received. A further visit was made to confirm the site has not been tidied. The Land is actively being cleared.

155 Canterbury Road, Morden, SM4 6QG. This is concerning an outbuilding in the rear garden that has had a retrospective planning application refused. An enforcement notice has been served on the property for the outbuilding to be demolished, the notice would have taken effect on 9th December 2019 and the compliance period would have been two months. However it has now been appealed to the Planning Inspectorate. The appeal was dismissed by Decision letter dated 19th August 2020. The compliance date i.e. Demolish the unauthorised rear outbuilding is 19th December 2020. Site visit to be arranged.

208 Bishopsford Road, Morden, SM4 6DA. This is concerning the erection of a single storey rear extension onto an existing extension on the ground floor. A Planning Enforcement Notice has been issued requiring the demolition of the Extension. The Notice was issued on 4th October 2019, the Notice came into effect on 10th November 2019 with a compliance period of 3 months, unless an appeal was made before 10th November 2019. An appeal was submitted but rejected by the Planning Inspectorate as it was received by The Planning Inspectorate one day late. Compliance date was 10th February 2020. Further action is under consideration. A new planning application for a reduced structure is to be submitted.

The former laundry site, 1 Caxton Road, Wimbledon SW19 8SJ. Planning Permission was granted for 9 flats, with 609square metres of (Class B1) office units. 22 flats have been created. A Planning Enforcement Notice was issued on 11th October 2018 requiring either the demolition of the development or building to the approved scheme. The Notice took effect on 18th November 2018 with a compliance period of 12 calendar months. An appeal was made but subsequently withdrawn the following day. The owner decided to comply with the approved permission and is in the process of returning some the residential units back to their authorised office use. Bath and shower units have been removed; the office units are currently being advertised for let. The garage flat is no longer being used for residential and is in the process of being returned to a garage. Planning Application 19/P1527 for Discharge of Conditions has been submitted and is currently being considered. Revised scheme re-submitted and is currently under consideration.

Works are underway to expose the depth and boundary of the foundations in order to confirm an alternative landscaping scheme is feasible. A further scheme is under consideration. A finale inspection is to be undertaken as the requested works / Landscaping has now been carried out.

6 CARTMEL GARDENS, MORDEN SM4 6QN: (Notice 2) This is regarding a side extension not built in accordance with approved plans and being used as a self contained unit of accommodation. A planning Enforcement Notice was subsequently

issued on 24th September 2019 and took effect on 24th October 2019. The Notice requires the cessation of the use of side extension as separate self-contained unit, and the removal of all those fixtures and fittings that facilitate the unauthorised use of the extension including the permanent removal of the facilities in use for cooking facilities, kitchen unit, sink, worktop, appliances, and food preparation areas. This Notice has a compliance period of 3 calendar months. An appeal was submitted but subsequently withdrawn. A second Notice was subject of an appeal now determined.

Some Recent Enforcement Actions

7 Streatham Road, Mitcham, CR4 2AD

The Council served two enforcement notices on 6th June 2019, requiring the outbuilding to be demolished and to clear debris and all other related materials. The second enforcement notice is for an unauthorised front, side and rear (adjacent to Graham Road) dormer roof extensions. An appeal was lost for the dormers to be considered permitted development, the notice requires the owner to demolish the unauthorised front, side and rear roof dormer extensions (adjacent to Graham Road) and to clear debris and all other related materials. Both Notices came into effect on 8th July 2019 unless appeals were made before this date. No appeals were lodged.

The compliance date of the Enforcement Notice relating to the outbuilding to be demolished and to clear debris and all other related materials has now passed without compliance. The second enforcement notice was not complied with and now prosecution proceedings are being undertaken.

The plea hearing has now taken place at Lavender Hill Magistrates Court, where the defendant pleaded not guilty and the second hearing is due on the 14th January 2020.

A second hearing was held on 14th January 2020, and adjourned until 4th February 2020 in order for the defendant to seek further legal advice.

The defendant again appeared in court and pleaded not guilty, a trial date was set for 21st May 2020. Due to the Covid-19 pandemic this has been postponed. The case has been listed for a 'non-effective' hearing on Tuesday 14 July 2020, where a new trial date will be set.

This was postponed until another date yet to be given. The Council has now instructed external Counsel to prosecute in these matters.

The next 'non-effective' hearing date is 2nd October 2020. This date has been re-scheduled to 27th November 2020. This was again re-scheduled to 4th January 2021. Outcome not known at the time of compiling this report.

A trial date has now been set for 28th and 29th April 2021.

6 CARTMEL GARDENS, MORDEN SM4 6QN: (Notice 1) This is regarding a side extension not built in accordance with approved plans. A planning Enforcement Notice was subsequently issued on 24th September 2019 and would have taken effect on 24th October 2019. The notice requires the demolition of the rear extension. This Notice has a compliance period of 3 calendar months. An Appeal was electronically submitted. This Appeal has now been determined by Decision letter dated 23rd June 2020. The Appeal was dismissed and the Enforcement Notice upheld. The compliance period is 3 months from the date of the Decision letter. Direct action is now under consideration.

183A Streatham Road CR4 2AG. An Enforcement Notice was issued on 1st May 2019 relating to the erection of a rear balcony to the existing rear roof dormer of the property. The Notice requires demolishing the rear balcony to the existing rear roof dormer and restoring the property to that prior to the breach. The Notice would have taken effect on 4th June 2019, with a compliance period of 2 months. An Appeal to The Planning Inspectorate has been made. The appeal was determined by Decision letter dated 18th March 2020. The appeal was dismissed with a slight variation of the wording of the enforcement Notice. The Enforcement Notice had a 2 months compliance period. A further site inspection found that the Enforcement Notice has been complied with.

47 Edgehill Road CR4 2HY. This is concerning a rear extension not being built to the dimensions provided on the prior approval application. A Planning Enforcement Notice was subsequently issued requiring the demolition of the single storey rear extension. The Notice would have taken effect took effect on 16th September 2019, with a compliance period of 3 calendar months. An Appeal has started. This Appeal has now been determined by Decision letter dated 16th July 2020. The appeal was allowed and the Enforcement Notice quashed.

33 HASSOCKS ROAD, LONDON. SW16 5EU: This was regarding the unauthorised conversion from a single dwelling into 2 x self contained flats against a refusal planning permission. A planning Enforcement Notice was subsequently issued on 10th September 2019 and would have taken effect on 15th October 2019. This Notice has a compliance period of 3 calendar months, unless an appeal is made to the Planning Inspectorate before the Notice takes effect. An Appeal has been submitted, and has started. The appeal site visit was postponed, by The Planning Inspectorate. This Appeal has now been determined by Decision letter dated 17th July 2020. The Appeal was dismissed and the Enforcement Notice upheld. The Notice was varied and the time for compliance extended from 3 months to 6 months from the date of the Appeal Decision letter. However, minor costs were awarded to the appellant for extra work and or time that had been spent on the appeal that were not needed.

76 Shaldon Drive, Morden, SM4 4BH. An enforcement notice was served on 14th August 2019 relating to an outbuilding being used as a self-contained unit. The notice requires the removal of all kitchen facilities, fixtures, fittings, cooker, worktops, kitchen units. The notice takes effect on 16th September 2019, with a compliance period of 1 month. An Appeal has been electronically submitted, This Appeal has now started. The date of the Planning Inspectors site visit was 20th October 2020.

Existing enforcement appeals

2

Appeals determined

0

New Enforcement Appeals

0

3.4 Requested update from PAC

None

4. Consultation undertaken or proposed

None required for the purposes of this report

5 Timetable

N/A

6. Financial, resource and property implications

N/A

7. Legal and statutory implications

N/A

8. Human rights, equalities and community cohesion implications

N/A

9. Crime and disorder implications

N/A

10. Risk Management and Health and Safety implications.

N/A

11. Appendices – the following documents are to be published with this report and form part of the report Background Papers

N/A

12. Background Papers